

To: Councillor McKenna (Chair)
Councillors Sokale, Carnell, Duveen, Ennis,
Lovelock, McEwan, Page, Robinson,
Rowland, DP Singh, Stanford-Beale,
J Williams and R Williams

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25 February 2020

Your contact is: **Nicky Simpson**

NOTICE OF MEETING - PLANNING APPLICATIONS COMMITTEE 4 MARCH 2020

A meeting of the Planning Applications Committee will be held on Wednesday, 4 March 2020 at 6.30 pm in the Council Chamber, Civic Offices, Bridge Street, Reading RG1 2LU. The Agenda for the meeting is set out below.

AGENDA	ACTION	WARDS AFFECTED	PAGE NO
1. MINUTES	Decision		11 - 18
2. DECLARATIONS OF INTEREST	-		
3. QUESTIONS	-		
4. POTENTIAL SITE VISITS FOR COMMITTEE ITEMS	Decision	BOROUGHWIDE	19 - 22
5. PLANNING APPEALS	Information		23 - 28
6. APPLICATIONS FOR PRIOR APPROVAL	Information		29 - 40
7. STREET NAME ASSIGNMENT - DEVELOPMENT AT FORMER COX & WYMAN SITE, CARDIFF ROAD	Decision	ABBEY	41 - 48

PLANNING APPLICATIONS TO BE CONSIDERED

8. 182137/FUL - BROAD STREET MALL, BROAD STREET	Decision	ABBEY	49 - 104
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	Proposal		Construction of three residential buildings (Use Class C3) ranging in height from 5 to 22 storeys above Broad Street Mall(Site E to provide up to 50 units, Site B to provide up to 134 Units and Site A to provide up to 164 units) and provision of a podium level amenity area, Construction of a 16 storey building on South Court comprising ground and first floor retail(Use Class A1/A2/A3) and residential over upper floors (Use Class C3, Site C to provide up to 98 units), Creation of ground floor retail units (Use Class A1/A3/A4) fronting Dusseldorf Way and ground floor retail (Use Class A1/A2/A3) fronting Queens Walk, all necessary enabling and alteration works required within the existing Broad Street Mall basement, ground and upper floors, Associated car park alterations, provision of servicing and refuse storage, cycle parking, public realm, landscape, and other associated works.	
	Recommendation		Permitted subject to Legal Agreement	
9.	198141/FUL - HOUSE OF FRASER, THE ORACLE, BRIDGE STREET	Decision	ABBEY	105 - 140
	Proposal		Subdivision of three-storey retail unit (Class A1) and change of use to form: 1x flexible retail/restaurant/bar unit (Class A1/A3/A4), 1x flexible retail/restaurant unit (Class A1/A3) and 1x assembly and leisure unit (Class D2) at Riverside level; 1x retail unit (Class A1) and 1x assembly and leisure unit (Class D2) at lower ground level; 1x retail unit (Class A1) at upper ground level, together with alterations to the Riverside frontage and associated plant, car parking and external alterations at car park levels.	
	Recommendation		Permitted subject to Legal Agreement	
10.	191848/FUL - GREYFRIARS CHURCH, FRIAR STREET	Decision	ABBEY	141 - 158
	Proposal		Demolish Existing Church Centre, Construct New Three Storey Church Centre with Plant Enclosure on Roof and Single Storey Glazed Link at Ground Floor Level. Associated hard and Soft Landscaping and External Works	
	Recommendation		Application Permitted	
11.	191924/FUL - 26-30 SWANSEA ROAD AND 28-32 NORTHFIELD ROAD	Decision	ABBEY	159 - 178
	Proposal		Full planning application for the demolition of the existing 2-bedroom dwelling and garages, and erection of nine dwellings, including eight three-bedroom houses and one three-bedroom coach house, with access and parking from Swansea Road, and associated landscaping.	
	Recommendation		Permitted subject to Legal Agreement	
12.	192052/HOU - 45 WATLINGTON STREET	Decision	ABBEY	179 - 188
	Proposal		Single storey rear extension, alterations to fenestration and provision of roof light to forward roof slope	
	Recommendation		Application Permitted	
13.	191659/REG3 - FORMER READING FAMILY CENTRE, NORTH STREET	Decision	ABBEY	189 - 222

Proposal	Two buildings of four and five storeys providing 41 dwellings as affordable housing units including vehicular, cycle and pedestrian access, parking and hard and soft landscaping
Recommendation	Permitted subject to Legal Agreement

14. 190980/OUT - 2 & 4 SEND ROAD, CAVERSHAM Decision CAVERSHAM 223 - 238

Proposal	Demolition of 2 & 4 Send Road. New development comprising of 14 x 1 bed flats and 2 x 2 bed flats. Access proposed from Send Road & Forge Close
Recommendation	Application Refused

15. 182114/OUT - THORPE HOUSE, COLLIER'S WAY Decision NORCOT 239 - 256

Proposal	Outline application for proposed residential redevelopment to provide 6 no. 3-bedroom dwellinghouses
Recommendation	Application Refused

16. EXCLUSION OF THE PRESS AND PUBLIC Decision

At this point, the following motion will be moved by the Chair: "That, pursuant to Section 100A of the Local Government Act 1972 (as amended) members of the press and public be excluded during consideration of the following Item on the agenda, as it is likely that there will be disclosure of exempt information as defined in the relevant Paragraphs of Part 1 of Schedule 12A (as amended) to that Act."

17. S215 NOTICE - WORKS IN DEFAULT Decision KATESGROVE; REDLANDS 257 - 264

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KEY TO CODING OF PLANNING APPLICATIONS

1. Planning application reference numbers are made up of 2 parts.
 - 1.1 The number begins with the year e.g. **19**
 - 1.2 This is followed by a consecutive number, showing what number the application is in any year (e.g. **190128**).
 - 1.3 The following codes are used to abbreviate the type of permission sought:
 - FUL - Full detailed planning permission for development or change of use
 - OUT - Principal of developing a site or changing a use
 - REM - Detailed matters “reserved matters” - for permission following approval of an outline planning application.
 - HOU - Applications for works to domestic houses
 - ADV - Advertisement consent
 - APC - Approval of details required by planning conditions
 - VAR - Significant change to a planning permission previously granted
 - NMA - Insignificant change to a planning permission previously granted
 - ADJ - Consultation from neighbouring authority on application in their area
 - LBC - Works to or around a Listed Building
 - CLE - A certificate to confirm what the existing use of a property is
 - CLP - A certificate to confirm that a proposed use or development does not require planning permission to be applied for.
 - REG3 - Indicates that the application has been submitted by the Local Authority.

2. The following is a key to existing officers with their direct dial telephone numbers.

GF1	-	Giorgio Framaliccio	9372604
JW6	-	Julie Williams	9372461
RJE	-	Richard Eatough	9373338
JPM	-	Jonathan Markwell	9372458
SDV	-	Steve Vigar	9372980
CJB	-	Christopher Beard	9372430
SGH	-	Stephen Hammond	9374424
MDW	-	Mark Worringham	9373337
AJA	-	Alison Amoah	9372286
SEH	-	Sarah Hanson	9372440
BXP	-	Boja Petkovic	9372352
MJB	-	Matthew Burns	9373625
EH1	-	Ethne Humphreys	9374085
TRH	-	Tom Hughes	9374150
SFB	-	Susanna Bedford	9372023
NW2	-	Nathalie Weekes	9374237
TF1	-	Tom French	9374068
CD3	-	Connie Davis	9372413
AS9	-	Anthony Scholes	9374729
JO1	-	James Overall	9374532
BC2	-	Brian Conlon	9373859
JPS	-	James Schofield	9374656
DB5	-	David Brett	9374227

Material planning considerations

Material planning considerations can include (but are not limited to):

- Overlooking/loss of privacy
- Loss of daylight/sunlight or overshadowing
- Scale and dominance
- Layout and density of buildings
- Appearance and design of development and materials proposed
- Disabled persons' access
- Highway safety
- Traffic and parking issues
- Drainage and flood risk
- Noise, dust, fumes etc
- Impact on character or appearance of area
- Effect on listed buildings and conservation areas
- Effect on trees and wildlife/nature conservation
- Impact on the community and other services
- Economic impact and sustainability
- Government policy
- Proposals in the Local Plan
- Previous planning decisions (including appeal decisions)
- Archaeology

Concerns that cannot be taken into account:

- Who the applicant is/the applicant's background
- Loss of views
- Loss of property value
- Loss of trade or increased competition
- Strength or volume of local opposition
- Construction noise/disturbance during development
- Fears of damage to property
- Maintenance of property
- Boundary disputes, covenants or other property rights
- Rights of way and ownerships disputes over rights of way
- Personal circumstances

Glossary of usual terms

Affordable housing - Housing provided below market price to meet identified needs.

Air Quality Management Area (AQMA) - Area where air quality levels need to be managed.

Apartment-hotel - A use providing basic facilities for self-sufficient living with the amenities of a hotel. Generally classed as C1 (hotels) for planning purposes.

Article 4 Direction - A direction which can be made by the Council to remove normal permitted development rights.

BREEAM - A widely used means of reviewing and improving the environmental performance of generally commercial developments (industrial, retail etc).

Brownfield Land - previously developed land.

Brown roof - A roof surfaced with a broken substrate, e.g. broken bricks.

Building line - The general line along a street beyond which no buildings project.

Bulky goods - Large products requiring shopping trips to be made by car: e.g. DIY or furniture.

CIL - Community Infrastructure Levy. Local authorities in England and Wales levy a charge on new development to be spent on infrastructure to support the development of the area.

Classified Highway Network - The network of main roads, consisting of A, B and C roads.

Conservation Area - areas of special architectural or historic interest designated by the local authority. As designated heritage assets the preservation and enhancement of the area carries great weight in planning permission decisions.

Control of Major Accident Hazards (COMAH) Competent Authority - The Control of Major Accident Hazards Regulations 1999 (COMAH) and their amendments 2005, are the enforcing regulations within the United Kingdom. They are applicable to any establishment storing or otherwise handling large quantities of industrial chemicals of a hazardous nature. Types of establishments include chemical warehousing, chemical production facilities and some distributors.

Dormer Window - Located in the roof of a building, it projects or extends out through the roof, often providing space internally.

Dwelling- A single housing unit - a house, flat, maisonette etc.

Evening Economy A term for the business activities, particularly those used by the public, which take place in the evening such as pubs, clubs, restaurants and arts/cultural uses.

Flood Risk Assessment - A requirement at planning application stage to demonstrate how flood risk will be managed.

Flood Zones - The Environment Agency designates flood zones to reflect the differing risks of flooding. Flood Zone 1 is low probability, Flood Zone 2 is medium probability, Flood Zone 3a is high probability and Flood Zone 3b is functional floodplain.

Granny annexe - A self-contained area within a dwelling house/ the curtilage of a dwelling house but without all the facilities to be self contained and is therefore dependent on the main house for some functions. It will usually be occupied by a relative.

Green roof - A roof with vegetation on top of an impermeable membrane.

Gross floor area - Total floor area of the house, including all floors and garage, measured externally.

Hazardous Substances Consent - Consent required for the presence on, over, or under land of any hazardous substance in excess of controlled quantity.

Historic Parks and Gardens - Parks and gardens of special historic interest, designated by English Heritage.

Housing Association - An independent not-for-profit body that provides low-cost "affordable housing" to meet specific housing needs.

Infrastructure - The basic services and facilities needed for the smooth running of a community.

Lifetime Home - A home which is sufficiently adaptable to allow people to remain in the home despite changing circumstances such as age or disability.

Listed building - Buildings of special architectural or historic interest. Consent is required before works that might affect their character or appearance can be undertaken. They are divided into Grades I, II and II*, with I being of exceptional interest.

Local Plan - The main planning document for a District or Borough.

Luminance - A measure of the luminous intensity of light, usually measured in candelas per square metre.

Major Landscape Feature - these are identified and protected in the Local Plan for being of local significance for their visual and amenity value

Public realm - the space between and within buildings that is publicly accessible, including streets, squares, forecourts, parks and open spaces whether publicly or privately owned.

Scheduled Ancient Monument - Specified nationally important archaeological sites.

Section 106 agreement - A legally binding agreement or obligation entered into by the local authority and a land developer over an issue related to a planning application, under Section 106 of the Town and Country Planning Act 1990.

Sequential approach A method of considering and ranking the suitability of sites for development, so that one type of site is considered before another. Different sequential approaches are applied to different uses.

Sui Generis - A use not specifically defined in the use classes order (2004) - planning permission is always needed to change from a sui generis use.

Sustainable development - Development to improve quality of life and protect the environment in balance with the local economy, for now and future generations.

Sustainable Drainage Systems (SUDS) - This term is taken to cover the whole range of sustainable approaches to surface water drainage management.

Tree Preservation Order (TPO) - An order made by a local planning authority in respect of trees and woodlands. The principal effect of a TPO is to prohibit the cutting down, uprooting, topping, lopping, wilful damage or wilful destruction of trees without the LPA's consent.

GUIDE TO USE CLASSES ORDER
and Permitted Changes of Use (England)

The table below summarises the permitted changes of use as of 25 May 2019. The table simplifies the complex legislation and should be read as a guide only.

From	To
A1 (shops)	<p>A2</p> <p>A3 up to 150m² and subject to Prior Approval</p> <p>B1 up to 500m² and subject to Prior Approval</p> <p>C3 up to 150m² and subject to Prior Approval</p> <p>D2 up to 200m² and subject to Prior Approval and only if the premises was in A1 use on 5th December 2013</p> <p>A mixed use comprising an A1 or A2 use and up to two flats may also be permitted subject to meeting certain conditions</p>
A2 (professional and financial services) when premises have a display window at ground level, but excluding betting offices or pay day loan shops	<p>A1</p> <p>A3 up to 150m² and subject to Prior Approval</p> <p>B1 up to 500m² and subject to Prior Approval</p> <p>C3 up to 150m² and subject to Prior Approval</p> <p>D2 subject to Prior Approval and only if the premises was in A2 use on 5th December 2013</p> <p>A mixed use comprising an A1 or A2 use and up to two flats may also be permitted subject to meeting certain conditions</p>
A3 (restaurants and cafes)	A1 or A2
A4 (drinking establishments)	A4 drinking establishment with A3 (restaurants and cafes)
A4 (drinking establishment) with A3 (restaurants and cafes)	A4 (drinking establishments)
A5 (hot food takeaways)	<p>A1 or A2 or A3</p> <p>B1 up to 500m² and subject to Prior Approval</p> <p>C3</p>
B1 (business)	B8 up to 500m ²
B2 (general industrial)	<p>B1</p> <p>B8 up to 500m²</p>
B8 (storage and distribution)	<p>B1 up to 500m²</p> <p>C3 (subject to prior approval)</p>
C3 (dwellinghouses)	C4 (small houses in multiple occupation)
C4 (small houses in multiple occupation)	C3 (dwellinghouses)
Sui Generis (casinos)	<p>D2</p> <p>A3 only if existing building is under 150m² and subject to Prior Approval</p> <p>C3 up to 150m² and subject to Prior Approval.</p>
Sui Generis (betting offices and pay day loan shops)	<p>A1</p> <p>A2</p> <p>A3 up to 150m² and subject to Prior Approval</p> <p>B1 up to 500m² and subject to Prior Approval</p> <p>C3 up to 150m² and subject to Prior Approval</p> <p>A mixed use comprising a betting office or a pay day loan shop, or an A1 or A2 use and up to two flats may also be permitted subject to meeting certain conditions.</p> <p>D2</p>

From	To
Sui Generis (laundrette)	B1 up to 500m ² and subject to Prior Approval
	C3 up to 150m ² and subject to Prior Approval
Sui Generis (agricultural buildings)	A1, A2, A3, B1, B8, C1, C3, D2 , all subject to meeting relevant criteria and Prior Approval.

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Present: Councillor McKenna (Chair);

Councillors Sokale (Vice-Chair), Carnell, Duveen, Ennis, Lovelock, McEwan, Page, Robinson, Rowland, DP Singh, Stanford-Beale, J Williams and R Williams

RESOLVED ITEMS

108. MINUTES

The Minutes of the meeting held on 15 January 2020 were agreed as a correct record and signed by the Chair.

109. DECLARATIONS OF INTEREST

Councillor McEwan declared a non-pecuniary interest in item 118 (42 Bulmershe Road) and left the room and took no part in the debate or decision. Nature of interest: Councillor McEwan lived directly opposite the site.

110. POTENTIAL SITE VISITS FOR COMMITTEE ITEMS

The Executive Director for Economic Growth and Neighbourhood Services submitted, at the meeting, a schedule of applications to be considered at future meetings of the Committee to enable Councillors to decide which sites, if any, they wished to visit prior to determining the relevant applications.

Resolved -

That the under-mentioned application, together with any additional applications which the Assistant Director of Planning, Transport and Regulatory Services might consider appropriate, be the subject of an accompanied site visit:

192032 - STATION HILL NORTH

Hybrid application comprising (i) application for Full Planning Permission for Phase 2 (Plot G and public realm) including demolition of existing structures, erection of an eighteen storey building containing office use (Class B1) and flexible retail, non-residential institution and assembly and leisure uses (Class A1, A2, A3, A4, A5, D1 and D2). Provision of podium deck, vehicular access and parking. New public open space and landscaping. Bridge link over Garrard St and(ii) Application for Outline Planning Permission for Phase 3 (all Matters reserved) for four building Plots (A, B, C and D). Demolition of existing buildings and structures. Mixed-use redevelopment.

111. PLANNING APPEALS

(i) New Appeals

The Executive Director for Economic Growth and Neighbourhood Services submitted a schedule giving details of notification received from the Planning Inspectorate regarding four planning appeals, the method of determination for which she had already expressed a preference in accordance with delegated powers, which was attached as Appendix 1 to the report.

(ii) Appeals Recently Determined

The Executive Director for Economic Growth and Neighbourhood Services submitted details of three decisions that had been made by the Secretary of State, or by an Inspector appointed for the purpose, which were attached as Appendix 2 to the report.

(iii) Reports on Appeal Decisions

The Executive Director for Economic Growth and Neighbourhood Services submitted reports on the following appeal decisions in Appendix 3 and in an update report:

190522/FUL - 39 BRUNSWICK HILL

Erection of new building containing 9 no. apartments with parking at rear following demolition of existing buildings.

Written representations.

Appeal dismissed.

190250/FUL - 25 REDLANDS ROAD

Change of use from C3 use (residential dwellinghouse) to sui generis use (as a 'larger' HMO), infilling of undercroft, single storey extension to rear following demolition of existing rear single storey extension and conversion of garage to one-bedroom flat.

Written representations.

Appeal allowed.

It was reported at the meeting that the Planning Inspectorate had confirmed the receipt of the letter from the Planning Manager referred to in the update report and that, once a response was received, it would be reported to the Committee.

Resolved -

- (1) That the new appeals, as set out in Appendix 1, be noted;
- (2) That the outcome of the recently determined appeals, as set out in Appendix 2, be noted;

- (3) That the reports on the appeal decisions set out in Appendix 3 and the update report be noted.

112. APPLICATIONS FOR PRIOR APPROVAL

The Executive Director for Economic Growth and Neighbourhood Services submitted a report giving details in Table 1 of eleven pending prior approval applications, and in Table 2 of five applications for prior approval decided between 2 January and 27 January 2020.

Resolved - That the report be noted.

113. 191395/REG3 - LAND ADJACENT TO CANAL WAY

New play area with equipment, bins and seats.

The Executive Director for Economic Growth and Neighbourhood Services submitted a report on the above application.

Comments were received and considered.

Resolved - That, pursuant to Regulation 3 of the Town and Country Planning General Regulations 1992, the carrying out of the development 191395/REG3 be authorised, subject to the conditions and informatives as recommended.

114. 191924/FUL - 26-30 SWANSEA ROAD AND 28-32 NORTHFIELD ROAD

Full planning application for the demolition of the existing 2-bedroom dwelling and garages, and erection of nine dwellings, including eight three-bedroom houses and one three-bedroom coach house, with access and parking from Swansea Road, and associated landscaping.

The Executive Director for Economic Growth and Neighbourhood Services submitted a report on the above application. An update report was tabled at the meeting, which gave further information on affordable housing, Community Infrastructure Levy, waste management, transport matters, boundary treatments and building recording. The update report stated that the S106 agreement should only secure the policy-compliant contribution towards affordable housing and the recommendation had therefore been amended to change the proposed S106 legal agreement heads of terms in relation to on-site affordable housing. It had also been amended to add additional transport conditions. The update report also stated that there were ongoing discussions with housing officers about the level and tenure of any on-site affordable housing provision.

In view of concerns that more affordable housing could not be secured by the legal agreement, officers confirmed at the meeting that the terms of the S106 agreement as set out in the update report would not prevent the developer from providing all units as affordable. However, officers also agreed to review the situation and, if the terms of the S106 agreement, as set out in the original report, needed to be amended, this would be

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brought back for a decision at the next Committee meeting, before the legal agreement completion deadline.

It was reported at the meeting that the applicant was willing to facilitate access to allow historical recording of the building.

Comments and an objection were received and considered.

Resolved -

- (1) That the Deputy Director of Planning, Transport and Regulatory Services be authorised to grant full planning permission for application 191924/FUL subject to completion of a S106 legal agreement by 20 March 2020 (unless a later date be agreed by the Deputy Director of Planning, Transport and Regulatory Services) to secure the Heads of Terms set out in the original report;
- (2) That, in the event of the requirements set out not being met, the Deputy Director of Planning, Transport and Regulatory Services be authorised to refuse permission;
- (3) That planning permission be subject to the conditions and informatives recommended in the original report, with the additional conditions recommended in the update report and an additional informative regarding facilitation of access for building recording.

115. 170134/FUL - 53-55 ARGYLE ROAD

Conversion from D1 use (former mental health Clinic) to C3 use as 10 self-contained flats, three storey side/rear extension, associated access, parking, private amenity space, bin and cycle store (amended description).

Further to Minute 69 of the meeting held on 6 February 2019, the Executive Director for Economic Growth and Neighbourhood Services submitted a report on the above application, giving details of why the planning permission had not yet been issued, due to delays in agreeing the detailed wording of the Section 106 legal agreement required for grant of the permission.

The report proposed changes to the Section 106 legal agreement heads of terms which had been agreed at the 6 February 2019 meeting and an amendment to Condition 8, which had also been agreed at that meeting. The original report submitted to the 6 February 2019 meeting was appended to the report.

Resolved -

That, further to Minute 69 of the meeting of Planning Applications Committee held on 6 February 2019, the decision of the Committee on 6 February 2019 be amended to the following:

- (1) That the Deputy Director of Planning, Transport and Regulatory Services be authorised to grant full planning permission for application 170134/FUL subject to completion of a S106 legal agreement by 1 April 2020 (unless a later date be agreed by the Deputy Director of Planning, Transport and Regulatory Services) to secure the amended Heads of Terms set out in the current report, with the cap for the maximum sum of the deferred affordable housing contribution set at a policy-compliant level;
- (2) That, in the event of the requirements set out not being met, the Deputy Director of Planning, Transport and Regulatory Services be authorised to refuse permission;
- (3) That planning permission be subject to the conditions and informatives recommended in the original 6 February 2019 report, with the amendment to Condition 8 as recommended in the current report.

116. 191043/FUL - 43 LONDON STREET

Part-demolition of existing London Street facade and internal works to building alongside demolition of two storey building to rear to enable residential-led mixed-use

The Executive Director for Economic Growth and Neighbourhood Services submitted a report on the above application. An update report was tabled at the meeting which gave details of comments received from consultees Reading Conservation Area Advisory Panel and Reading Civic Society and further information on conditions approved plans and Community Infrastructure Levy. The update report recommended an additional condition 40 and an amendment to condition 3.

It was reported at the meeting that no objections had been received from the Council's transport team to the revised plans submitted in January 2020 and the Council's ecologist had no objection regarding the likely impact on bats.

Comments and objections were received and considered.

Resolved -

- (1) That the Deputy Director of Planning, Transport and Regulatory Services be authorised to grant full planning permission for application 191043/FUL subject to completion of a Section 106 legal agreement by 20 March 2020 (unless a later date be agreed by the Deputy Director of Planning, Transport and Regulatory Services) to secure the Heads of Terms set out in the report, with the £100,000 contribution towards affordable housing to be amended to be index-linked;
- (2) That, in the event of the requirements set out not being met, the Deputy Director of Planning, Transport and Regulatory Services be authorised to refuse permission;

- (3) That planning permission be subject to the conditions and informatives as recommended in the original report, with the amendment to condition 3 and additional condition 40 as recommended in the update report, with condition 40 to be amended to also include details of the first and second floor windows on London Street and their materials.

117. 191429/FUL & 191430/LBC - BROCK BARRACKS, OXFORD ROAD

Upgrade of existing telecommunications base station comprising the installation of 3No. replacement antennas, and 3No new antennas to chimney (in total 6 antennas), installation of 300m wide cable tray adjoining existing cable tray running up western elevation of chimney within curtilage of listed buildings comprising Brock Barracks.

The Executive Director for Economic Growth and Neighbourhood Services submitted a report on the above applications.

Comments were received and considered.

Resolved - That planning permission for application 191429/FUL and listed building consent for 191430/LBC be granted, subject to the conditions and informatives as recommended.

118. 180471/FUL - 42 BULMERSHE ROAD

Demolition of existing garage and erection of a three storey (including basement) side extension comprising three 1 bed flats and associated car parking, landscaping, and cycle storage. (amended)

The Executive Director for Economic Growth and Neighbourhood Services submitted a report on the above application. An update report was tabled at the meeting giving further information on affordable housing and adaptability of housing. The recommendation for the proposed heads of terms for the Section 106 legal agreement had been amended accordingly.

Comments and objections were received and considered.

(Councillor McEwan declared a non-pecuniary interest in this item and left the room and took no part in the debate or decision. Nature of interest: Councillor McEwan lived directly opposite the site.)

Resolved -

- (1) That the Deputy Director of Planning, Transport and Regulatory Services be authorised to grant full planning permission for application 180471/FUL subject to completion of a S106 legal agreement by 31 March 2020 (unless a later date be agreed by the Deputy Director of Planning, Transport and Regulatory Services) to secure the Heads of Terms set out in the original report, with the amendment set out in the update report;

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- (2) That, in the event of the requirements set out not being met, the Deputy Director of Planning, Transport and Regulatory Services be authorised to refuse permission;
- (3) That planning permission be subject to the conditions and informatives recommended in the original report.

119. 191634/FUL - HAMILTON CENTRE, 135 BULMERSHE ROAD

Conversion of Hamilton Centre into 2 storey Special Educational Needs College for 11 - 18 yr olds. Project also includes a 500m2 new build extension, car parking, landscaping and multi use sports area.

The Executive Director for Economic Growth and Neighbourhood Services submitted a report on the above application. An update report was tabled at the meeting which gave details of additional representations received and of approved plans and which corrected inaccurate illustrations in the original report

Comments and objections were received and considered.

Objectors Merry Evans and Grant Evans attended the meeting and addressed the Committee on this application.

Due to the considerable level of development that had taken place around the playing fields, in order to protect the remaining open space, Councillors requested an informative to advise that planning applications that would further erode this open space would not be supported, unless substantial justification was provided, as they would fail to comply with Local Plan policies aimed at protecting open space.

Resolved -

- (1) That the Deputy Director of Planning, Transport and Regulatory Services be authorised to grant full planning permission for application 191634/REG3 subject to completion of a Section 106 legal agreement by 14 February 2020 (unless a later date be agreed by the Deputy Director of Planning, Transport and Regulatory Services) to secure the Heads of Terms set out in the original report;
- (2) That, in the event of the requirements set out not being met, the Deputy Director of Planning, Transport and Regulatory Services be authorised to refuse permission;
- (3) That planning permission be subject to the conditions and informatives as recommended in the original report, subject to ensuring that all the requirements from the Natural Environment Team's comments in paragraph 5.5 of the original report were included in the conditions, with additional informatives:

- a) requesting the development of the travel plan and its annual review to be carried out in consultation with Ward Councillors;
- b) referring to the requirement for reinstatement of the tennis courts linked to the decision by Policy Committee on this matter on 20 July 2015;
- c) to advise that planning applications that would further erode the open space would not be supported, unless substantial justification was provided, as they would fail to comply with Local Plan policies aimed at protecting open space.

120. EXCLUSION OF THE PRESS AND PUBLIC

Resolved -

That, pursuant to Section 100A of the Local Government Act 1972 (as amended), members of the press and public be excluded during consideration of item 121 as it was likely that there would be a disclosure of exempt information as defined in the relevant paragraphs of Part 1 of Schedule 12A (as amended) of the Act.

121. PLANNING ENFORCEMENT QUARTERLY UPDATE

The Director for Economic Growth and Neighbourhood Services submitted a report on the current status of all outstanding enforcement notices/prosecutions, including cases where formal enforcement action and/or prosecutions had been undertaken but where the action taken had not yet resolved the breach of planning control. An overview of all outstanding cases involving formal action was attached at Appendix 1.

Resolved - That the report be noted.

(Exempt information as defined in paragraphs 6 & 7).

(The meeting started at 6.30 pm and closed at 9.07 pm)

READING BOROUGH COUNCIL
REPORT BY EXECUTIVE DIRECTOR OF ECONOMIC GROWTH AND NEIGHBOURHOOD
SERVICES

TO:	PLANNING APPLICATIONS COMMITTEE		
Date:	4 March 2020		
TITLE:	POTENTIAL SITE VISITS FOR COMMITTEE ITEMS		
SERVICE:	PLANNING	WARDS:	BOROUGH WIDE
AUTHOR:	Julie Williams	TEL:	0118 9372461
JOB TITLE:	Acting Planning Manager	E-MAIL:	Julie.williams@reading.gov.uk

1. PURPOSE AND SUMMARY OF REPORT

- 1.1 To identify those sites where, due to the sensitive or important nature of the proposals, Councillors are advised that a Site Visit might be appropriate before the meeting of the next Committee (or at a future date) and to confirm how the visit will be arranged.

2. RECOMMENDED ACTION

- 2.1 That you resolve to visit the sites which will be identified by officers in a paper in the update Agenda on the day of the forthcoming Planning Applications Committee and confirm if there are any other sites Councillors consider necessary to visit before reaching a decision on an application.
- 2.2 That you confirm how the site will be visited, unaccompanied or accompanied, and if accompanied agree the site visit date and time.

3. THE PROPOSAL

- 3.1 The potential list of agenda items submitted since the last meeting of the Planning Applications Committee will be provided with the update Agenda on the day of forthcoming Planning Applications Committee. Where appropriate, I will identify those applications that I feel warrant a site visit by the Committee prior to formal consideration of the proposals.
- 3.2 Councillors may also request a site visit to other sites on that list if they consider it relevant to their ability to reach a decision on the application.
- 3.3 Officers may also recommend a site visit if they intend to report a normally delegated application to the Committee for a decision.
- 3.4 A site visit may also be proposed in connection with a planning enforcement issue which is before the Committee for consideration.

- 3.5 Site visits in the above circumstances should all take place in advance of a Committee decision and should only be used where the expected benefit is substantial.
- 3.6 A site visit is only likely to be necessary if the impact of the proposed development is difficult to visualise from the plans and any supporting material including photographs taken by officers (although, if this is the case, additional illustrative material should have been requested); or, there is a good reason why the comments of the applicant and objectors cannot be expressed adequately in writing; or, the proposal is particularly contentious.
- 3.7 Accompanied site visits consist of an arranged inspection by a viewing Committee, with officers in attendance and by arrangement with the applicant or their agent. Applicants and objectors however will have no right to speak but may observe the process and answer questions when asked. The visit is an information gathering opportunity and not a decision making forum.
- 3.8 Recently Councillors have expressed a preference to carry out unaccompanied site visits, where the site is easily viewable from public areas, to enable them to visit the site when convenient to them. In these instances the case officer will provide a briefing note on the application and the main issues to be considered by Councillors when visiting the site.
- 3.9 There may also be occasions where officers or Councillors request a post completion site visit in order to review the quality or impact of a particular development.

4. CONTRIBUTION TO STRATEGIC AIMS

- 4.1 The purpose of the planning service is to support the delivery of economic and sustainable growth while providing appropriate regulation to secure an attractive and safe town. We do this by maintaining planning performance and developing policy and systems to secure sustainable development. This contributes to the following priorities in the Corporate Plan 2018-21:
- Securing the economic success of Reading;
 - Improving access to decent housing to meet local needs;
 - Keeping Reading's environment clean, green and safe;
 - Promoting great education, leisure and cultural opportunities for people in Reading.

5. COMMUNITY ENGAGEMENT AND INFORMATION

- 5.1 Statutory neighbour consultation takes place on planning applications.

6. EQUALITY IMPACT ASSESSMENT

- 6.1 Officers when assessing an application and when making a recommendation to the Committee, will have regard to its duties Under the Equality Act 2010, Section 149, to have due regard to the need to—

- eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

7. LEGAL IMPLICATIONS

7.1 None arising from this report.

8. FINANCIAL IMPLICATIONS

8.1 The cost of site visits is met through the normal planning service budget.

9. BACKGROUND PAPERS

Reading Borough Council Planning Code of Conduct.

Local Safety Practice 2013 Planning Applications Committee site visits.

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READING BOROUGH COUNCIL
REPORT BY EXECUTIVE DIRECTOR OF ECONOMIC GROWTH AND
NEIGHBOURHOOD SERVICES

TO:	PLANNING APPLICATIONS COMMITTEE		
DATE:	4 March 2020		
TITLE:	PLANNING APPEALS		
AUTHOR:	Julie Williams	TEL:	0118 9372461
JOB TITLE:	Planning Manager	E-MAIL:	Julie.Williams@reading.gov.uk

1. PURPOSE AND SUMMARY OF REPORT

- 1.1 To report notifications received from the Planning Inspectorate on the status of various planning appeals.

2. RECOMMENDED ACTION

- 2.1 That you note the appeals received and the method of determination as listed in Appendix 1 of this report.
- 2.2 That you note the appeals decided as listed in Appendix 2 of this report.
- 2.3 That you note the Planning Officers reports on appeal decisions provided in Appendix 3 of this report.

3. INFORMATION PROVIDED

- 3.1 Please see Appendix 1 of this report for new appeals lodged since the last committee.
- 3.2 Please see Appendix 2 of this report for new appeals decided since the last committee.
- 3.3 Please see Appendix 3 of this report for new Planning Officers reports on appeal decisions since the last committee.

4. CONTRIBUTION TO STRATEGIC AIMS

- 4.1 Defending planning appeals made against planning decisions contributes to producing a sustainable environment and economy within the Borough and to meeting the 2015 -18 Corporate Plan objective for “Keeping the town clean, safe, green and active.”

5. COMMUNITY ENGAGEMENT AND INFORMATION

- 5.1 Planning decisions are made in accordance with adopted local development plan policies, which have been adopted by the Council following public consultation. Statutory consultation also takes place on planning applications and appeals and this can have bearing on the decision reached by the Secretary of State and his Inspectors. Copies of appeal decisions are held on the public Planning Register.

6. EQUALITY IMPACT ASSESSMENT

- 6.1 Where appropriate the Council will refer in its appeal case to matters connected to its duties Under the Equality Act 2010, Section 149, to have due regard to the need to—
- eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
 - advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
 - foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

7. LEGAL IMPLICATIONS

- 7.1 Public Inquiries are normally the only types of appeal that involve the use of legal representation. Only applicants have the right to appeal against refusal or non-determination and there is no right for a third party to appeal a planning decision.

8. FINANCIAL IMPLICATIONS

- 8.1 Public Inquiries and Informal Hearings are more expensive in terms of officer and appellant time than the Written Representations method. Either party can be liable to awards of costs. Guidance is provided in Circular 03/2009 “Cost Awards in Appeals and other Planning Proceedings”.

9. BACKGROUND PAPERS

- 9.1 Planning Appeal Forms and letters from the Planning Inspectorate.

APPENDIX 1

Appeals Lodged:

WARD: CAVERSHAM
APPEAL NO: APP/E0345/W/19/3242285
CASE NO: 191300
ADDRESS: "ONC HOUSE" 68 St Johns Road, Caversham
PROPOSAL: Notification of Prior Approval for a Change of use from Class B1(c) (Light Industrial) to C3 (dwellinghouses) to comprise 6 x flats. Prior Notification under Class PA, Part 3 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015.
CASE OFFICER: Connie Davies
METHOD: Written Representation
APPEAL TYPE: REFUSAL PRIOR APPROVAL
APPEAL LODGED: 06.02.2020

WARD: CAVERSHAM
APPEAL NO: APP/E0345/W/20/3246349
CASE NO: 191787
ADDRESS: "ONC HOUSE" 68 St Johns Road, Caversham
PROPOSAL: Notification of Prior Approval for a Change of use of building from Class B1(c) (Light Industrial) to C3 (dwellinghouses) to comprise 6 x dwellings. Prior Notification under Class PA, Part 3 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015.
CASE OFFICER: Connie Davies
METHOD: Written Representation
APPEAL TYPE: REFUSAL PRIOR APPROVAL
APPEAL LODGED: 20.02.2020

APPENDIX 2

Appeals Decided:

WARD: CAVERSHAM
APPEAL NO: APP/E0345/D/19/3234349
CASE NO: 190837
ADDRESS: 14 South Street
PROPOSAL: Development of conversion of exiting single dwelling house to two dwelling houses with two storey extensions to rear without complying with Condition 4 (Parking Permits) of planning permission 090981, dated 18/12/2009.
CASE OFFICER: Nathalie Weekes
METHOD: Written Representation
DECISION: ALLOWED
DATE DETERMINED: 06.02.2020

WARD: SOUTHCOTE
APPEAL NO: APP/E0345/W/19/3239897
CASE NO: 181987
ADDRESS: 19 Fontwell Drive
PROPOSAL: Construction of 2 no. 3 bedroom plus study semi-detached dwellings with associated work.
CASE OFFICER: James Overall
METHOD: Written Representation
DECISION: DISMISSED
DATE DETERMINED: 13.02.2020

WARD: BATTLE
APPEAL NO: APP/E0345/W/19/3239477
CASE NO: 181404
ADDRESS: Land to the rear of 578 - 584", Oxford Road
PROPOSAL: Demolition of existing building and erection of two storey building containing 4 x Studio flats.
CASE OFFICER: Anthony Scholes
METHOD: Written Representation
DECISION: DISMISSED
DATE DETERMINED: 13.02.2020

WARD: ABBEY
APPEAL NO: APP/E0345/C/19/3233919
ADDRESS: Land and building at 4 Zinzan St
PROPOSAL: Application of exterior cladding to the Northern (side)
Elevation of the building using materials unsympathetic to
The Russell St/Castle Hill Conservation Area
CASE OFFICER: Chris Beard
DECISION: DISMISSED
DATE DETERMINED:13.02.2020

- The breach of planning control as alleged in the notice is without planning permission the application of exterior cladding to the Northern (side) elevation of the building on the Land using materials which are unsympathetic to the Russell Street/Castle Hill Conservation Area

APPENDIX 3

Address Index of Planning Officers reports on appeal decisions.

No reports available this time.

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READING BOROUGH COUNCIL
REPORT BY EXECUTIVE DIRECTOR OF ECONOMIC GROWTH AND NEIGHBOURHOOD
SERVICES

TO:	PLANNING APPLICATIONS COMMITTEE		
DATE:	4 March 2020		
TITLE:	APPLICATIONS FOR PRIOR APPROVAL		
AUTHOR:	Julie Williams & Richard Eatough		
JOB TITLE:	PLANNING MANAGER (acting) & Team Leader	E-MAIL:	Julie.williams@reading.gov.uk Richard.eatough@reading.gov.uk

1. PURPOSE AND SUMMARY OF REPORT

- 1.1 To advise Committee of new applications and decisions relating to applications for prior-approval under the Town and Country Planning (General Permitted Development) Order (GPDO 2015) as amended.

2. RECOMMENDED ACTION

- 2.1 That you note the report.

3. BACKGROUND

- 3.1 At your meeting on 29 May 2013 a report was presented which introduced new permitted development rights and additional requirements for prior approval from the local planning authority for certain categories of permitted development. It was agreed then that a report be brought to future meetings for information and to include details of applications received for prior approval, those pending a decision and those applications which have been decided since the last Committee date.

4 TYPES OF PRIOR APPROVAL APPLICATIONS

- 4.1 The categories of development requiring prior approval under the Town and Country Planning (General Permitted Development)(England) Order 2015, or amended by the Town and Country Planning (General Permitted Development)(England)(Amendment) Order 2016 that are of most relevance to Reading Borough are summarised as follows:

- **Householder development - single storey rear extensions.** GPDO Part 1, Class A1(g-k).
- **Change of use from A1 shops or A2 financial & professional, betting office, pay day loan shop or casino to A3 restaurants and cafes.** GPDO Part 3 Class C.
- **Change of use from A1 shops or A2 financial & professional, betting office or pay day loan shop to Class D2 assembly & leisure.** GPDO Part 3 Class J.
- **Change of use from A1 shops or A2 financial and professional or a mixed use of A1 or A2 with dwellinghouse to Class C3 dwellinghouse.** GPDO Part 3 Class M*
- **Change of use from an amusement arcade or a casino to C3 dwellinghouse & necessary works.** GPDO Part 3 Class N
- **Change of use from B1 office to C3 dwellinghouse** GPDO Part 3, Class O*.

- Change of use from B8 storage or distribution to C3 dwellinghouse GPDO Part 3, Class P
- Change of use from B1(c) light industrial use to C3 dwellinghouse GPDO Part 3, Class PA*
- Change of use from agricultural buildings and land to Class C3 dwellinghouses and building operations reasonably necessary to convert the building to the C3 use. GPDO Part 3 Class Q.
- Change of use of 150 sq m or more of an agricultural building (and any land within its curtilage) to flexible use within classes A1, A2, A3, B1, B8, C1 and D2. GPDO Part 3 Class R.
- Change of use from Agricultural buildings and land to state funded school or registered nursery D1. GPDO Part 3 Class S.
- Change of use from B1 (business), C1 (hotels), C2 (residential institutions), C2A (secure residential institutions and D2 (assembly and leisure) to state funded school D1. GPDO Part 3 Class T.
- Temporary use of buildings for film making for up to 9 months in any 27 month period. GPDO Part 4 Class E
- Development under local or private Acts and Orders (e.g. Railways Clauses Consolidation Act 1845). GPDO Part 18.
- Development by telecommunications code system operators. GPDO Part 16.
- Demolition of buildings. GPDO Part 11.

4.2 Those applications for Prior Approval received and yet to be decided are set out in the appended Table 1 and those applications which have been decided are set out in the appended Table 2. The applications are grouped by type of prior approval application. Information on what the estimated equivalent planning application fees would be is provided.

4.3 It should be borne in mind that the planning considerations to be taken into account in deciding each of these types of application are specified in more detail in the GDPO. In some cases the LPA will first need to confirm whether or not prior approval is required before going on to decide the application on its planning merits where prior approval is required.

4.4 Details of any appeals on prior-approval decision will be included elsewhere in the agenda.

5. CONTRIBUTION TO STRATEGIC AIMS

5.1 Changes of use brought about through the prior approval process are beyond the control or influence of the Council's adopted policies and Supplementary Planning Documents. Therefore it is not possible to confirm how or if these schemes will contribute to the strategic aims of the Council.

6. COMMUNITY ENGAGEMENT AND INFORMATION

6.1 Statutory consultation takes place in connection with applications for prior-approval as specified in the Order discussed above.

7 EQUALITY IMPACT ASSESSMENT

7.1 Where appropriate the Council must have regard to its duties under the Equality Act 2010, Section 149, to have due regard to the need to—

- eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;

- foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

7.2 There are no direct implications arising from the proposals.

8. LEGAL IMPLICATIONS

8.1 None arising from this Report.

9. FINANCIAL IMPLICATIONS

9.1 Since the additional prior notifications were introduced in May 2013 in place of applications for full planning permission, the loss in fee income is estimated to be £1,295,314.

(Office Prior Approvals - £1,177,379: Householder Prior Approvals - £75,502: Retail Prior Approvals - £12,622: Demolition Prior Approval - £2867: Storage Prior Approvals - £5716: Shop to Restaurant Prior Approval - £4306: Shop to Leisure Prior Approval - £305: Light Industrial to Residential - £16,518)

Figures since last report

Office Prior Approvals - £23832: Householder Prior Approvals - £770

9.2 However it should be borne in mind that the prior notification application assessment process is simpler than would have been the case for full planning permission and the cost to the Council of determining applications for prior approval is therefore proportionately lower. It should also be noted that the fee for full planning applications varies by type and scale of development and does not necessarily equate to the cost of determining them.

10. BACKGROUND PAPERS

The Town and Country Planning (General Permitted Development) (England) Order 2015

Town and Country Planning (General Permitted Development)(England)(Amendment) Order 2016.

Table 1 - Prior-approval applications pending @ 20th February 2020

Application type CLASS A - Householder

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Householder Prior Approval - Class A, Part 1 GPDO 2015	200227	70 Cressingham Road, Reading, RG2 7JS	Church	Rear extension measuring 6m in depth, with a maximum height of 3.2m, and 3m in height to eaves level.	11/02/2020	23/03/2020		£110
Householder Prior Approval - Class A, Part 1 GPDO 2015	200212	3 Forest Hill, Tilehurst, Reading, RG30 6XE	Kentwood	Rear extension measuring 5m in depth, with a maximum height of 3.19m, and 2.96m in height to eaves level.	10/02/2020	22/03/2020		£110
Householder Prior Approval - Class A, Part 1 GPDO 2015	200246	43 Wolseley Street, Reading, RG1 6AZ	Minster	Rear extension measuring 4.3m in depth, with a maximum height of 3m, and 3m in height to eaves level.	16/02/2020			£110
Householder Prior Approval - Class A, Part 1 GPDO 2015	200084	56 Osborne Road, Reading, RG30 2PG	Norcot	Rear extension measuring 3.50m in depth, with a maximum height of 3.55m, and 2.7m in height to eaves level.	18/01/2020	15/03/2020		£110

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Householder Prior Approval - Class A, Part 1 GPDO 2015	200029	20 Burnham Rise, Emmer Green, Reading, RG4 8XJ	Peppard	Rear extension measuring 5.50m in depth, with a maximum height of 4m, and 3m in height to eaves level.	07/01/2020	18/02/2020		£110
Householder Prior Approval - Class A, Part 1 GPDO 2015	200152	12 Buckingham Drive, Emmer Green, Reading, RG4 8RZ	Peppard	Rear extension measuring 6m in depth, with a maximum height of 3m and 2.6m in height to eaves level.	30/01/2020	11/03/2020		£110
Householder Prior Approval - Class A, Part 1 GPDO 2015	200049	55 Donnington Road, Reading, RG1 5NE	Redlands	Rear extension measuring 4m in depth, with a maximum height of 2.50m, and 2.50m in height to eaves level.	11/01/2020	27/02/2020		£110
Householder Prior Approval - Class A, Part 1 GPDO 2015	200087	20 Conisboro Avenue, Caversham, Reading, RG4 7JB	Thames	Rear extension measuring 5.8m in depth, with a maximum height of 3.2m, and 2.8m in height to eaves level.	20/01/2020	01/03/2020		£110
Householder Prior Approval - Class A, Part 1 GPDO 2015	200156	46 Dawlish Road, Reading, RG2 7SF	Whitley	Rear extension measuring 6m in depth, with a maximum height of 2.90m, and 2.50m in height to eaves level.	30/01/2020	11/03/2020		£110

Office to Residential Prior Approval applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Office use to dwelling house - Class O, Part 1 GPDO 2015	200151	Reada Court, Vachel Road, Reading, RG1 1NY	Abbey	Change of use from Class B1(a)(offices) to C3 (dwelling houses) to comprise 9 x 1 bedroom flats.	30/01/2020	26/03/2020		£4062
Office use to dwelling house - Class O, Part 1 GPDO 2015	200211	20 Greyfriars Road, Reading, RG1 1NL	Abbey	Change of use from Class B1(a)(offices) to C3 (dwelling houses) to comprise 43 flats.	07/02/2020	03/04/2020		£19770

Telecommunications Prior Approval applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments
Telecommunications Notification - Prior Approval	200140	Queens Road Car Park, Queens Road, Reading, RG1 4AR	Abbey	installation of 6 antenna, 2 transmission dishes, 1 equipment cabinet and ancillary development thereto on the rooftop of the host property and a meter cabinet at ground level.	29/01/2020	25/03/2020	
Telecommunications Notification - Prior Approval	190789	Land At Mere oak Busway, Basingstoke Road, Shinfield, Reading, RG7 1NR	Whitley	installation of a 20m Monopole, supporting 6 no. antennas, 3 no. equipment cabinets and a meter cabinet and development ancillary thereto.	14/05/2019	09/07/2019	

Shop to Restaurant Prior Approval applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Equivalent planning application fee
Shop, Financial, Betting, Pay day, Casino to Restaurant/Cafe - Class C	192006	25 Church Road, Caversham, Reading, RG4 7AA	Caversham	Notification of Prior Approval for a Change Of Use from Retail, betting office or pay day loan shop or casino (Class A1 (shops) or Class A2 (financial and professional services)) to restaurant or cafe (Class A3).	17/12/2019	11/02/2020	£366

Retail Prior Approvals applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Retail Prior Approval	200068	576 Oxford Road, Reading, RG30 1EG	Battle	Change of use of ground and first floors from Class A1 (shop) to C3 (dwellinghouses) to comprise of 2 x 1 bed flats with private access	16/01/2020	12/03/2020		£828
Retail Prior Approval	200129	20 Coldicutt Street, Caversham, Reading, RG4 8DU	Caversham	Change of use from A1 to C3 Dwellinghouse (Flat x 1).	26/01/2020	22/03/2020		£366
Retail Prior Approval	192004	940 Oxford Road, Tilehurst, Reading, RG30 6TJ	Kentwood	Change of use on the ground floor from A5 to C3 Dwellinghouse (Flat x 1).	17/12/2019	18/03/2020		£366

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Retail Prior Approval	192005	940 Oxford Road, Tilehurst, Reading, RG30 6TJ	Kentwood	Change of use on the ground floor from A5 to C3 Dwellinghouse (Flat x 1).	17/12/2019	18/03/2020		£366

Solar Equipment Prior Approval applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Solar Equip - S2 Permitted Class J	200146	Tesco Superstore, Portman Road, Reading, RG30 1AW	Battle	Notification for Prior Approval for the Installation, Alteration or Replacement of other Solar Photovoltaics (PV) equipment on the Roofs of Non-domestic Buildings, up to a Capacity of 1 Megawatt.	30/01/2020	16/04/2020		£366

Demolition Prior Approval applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Demolition Prior Approval	200054	Unit 6, Meadow Road, Reading, RG1 8LB	Abbey	Application for prior notification of proposed demolition.	14/01/2020	25/02/2020		£366
Demolition Prior Approval	200202	Talbot House, 2 Ross Road, Reading, RG1 8EL	Abbey	Application for prior notification of proposed demolition.	07/02/2020	06/03/2020		£366

Storage to Residential Prior Approval applications pending - None

Shop to Assembly & Leisure Prior Approval applications pending - None

Light Industrial to Residential pending - None

Prior Notification applications pending - None

Table 2 - Prior-approval applications decided 27 January 2020 to 20 February 2020

Application type CLASS A - Householder

Application type	Application reference number	Address	Ward	Proposal	Date Received	Decision Date	Decision
Householder Prior Approval - Class A, Part 1 GPDO 2015	200029	20 Burnham Rise, Emmer Green, Reading, RG4 8XJ	Peppard	Rear extension measuring 5.50m in depth, with a maximum height of 4m, and 3m in height to eaves level.	07/01/2020	14/02/2020	Prior Approval Notification - Refusal
Householder Prior Approval - Class A, Part 1 GPDO 2015	192023	50 Donnington Road, Reading, RG1 5ND	Redlands	Rear extension measuring 4.5m in depth, with a maximum height of 2.9m, and 2.5m in height to eaves level.	20/12/2019	29/01/2020	Prior Approval NOT REQUIRED

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Office to Residential Prior Approval applications decided

Application type	Application reference number	Address	Ward	Proposal	Date Received	Decision Date	Decision
Office use to dwelling house - Class O, Part 1 GPDO 2015	192059	Sapphire Plaza, Watlington Street, Reading, RG1 4RE	Abbey	Change of use of building from Class B1(a) (offices) and Class to C3 (dwelling houses) to comprise 85 residential units.	24/12/2019	18/02/2020	Application Permitted

Prior Notification applications decided

Application type	Application reference number	Address	Ward	Proposal	Date Received	Decision Date	Decision
Prior Notification	191988	Onc House, 68 St Johns Road, Caversham, Reading, RG4 5AL	Caversham	Notification of Prior Approval for a Change of use of central building from Class B1(c) (Light Industrial) to C3 (dwellinghouses) to comprise 7 x dwellings.	16/12/2019	07/02/2020	Prior Approval Notification - Refusal

Retail to Residential applications decided - None

Shop to Assembly & Leisure Prior Approval applications decided - None

Light Industrial to Residential applications decided - None

Shop to Restaurant Prior Approval applications decided - None

Solar Equipment Prior Approval applications decided - None

Telecommunications Prior Approval applications decided - None

Demolition Prior Approval applications decided - None

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READING BOROUGH COUNCIL

TO:	Planning Application Committee		
DATE:	5 March 2020		
TITLE:	Street Name assignment Development at Former Cox & Wyman Site, Cardiff Road, Reading		
SERVICE:	GI & Business Systems	WARDS:	Abbey
LEAD OFFICER:	Andy Fisher	TEL:	Ext 72606 (0118 937 2606)
JOB TITLE:	GI BS Team Leader	E-MAIL:	Andy.Fisher@reading.gov.uk

1. PURPOSE AND SUMMARY OF REPORT

- 1.1 To identify proposed names for the development site detailed below and for Committee to select the names to be assigned.

2. RECOMMENDED ACTION

- 2.1 The Committee approve the street names in the table set out at 4.3 of this report.
- 2.2 In the event that the proposed names are not considered suitable Committee to select three names from the Street Names Proposals list at Appendix 2, as previously approved by Committee.

3. BACKGROUND

- 3.1 The development on the Former Cox & Wyman Site, Cardiff Road, Reading. Based on the plans we received from the developer we would like committee to approve the three names to be reserved for the development.
- 3.2 The developer did not suggest any street names.
- 3.3 During the consultation comments were received from Councillor who consulted with residents and these are listed in 4.3.
- 3.4 A plan of the site detailing the street layout is attached at Appendix 1.

4. THE PROPOSAL

- 4.1 That Committee approves three names for the development.

4.2 The names approved by Committee will be reserved for the development and will be assigned to new streets as the site is developed.

4.3 In the event that Committee consider none of the names offered to be acceptable, alternative names will need to be selected from the Approved Street Names list in Appendix 2.

Name	Reason for action	Ward	Site	Source
Cox	Part Name of Former Cox & Wyman Site	Abbey	Former Cox & Wyman Site, Cardiff Road	Bell Tower Community Association
Cox Wyman	Former name of Printers	Abbey	Former Cox & Wyman Site, Cardiff Road	Officers Suggestion. No comments received
Flower	In keeping with the nearby Road name, Meadow Road	Abbey	Former Cox & Wyman Site, Cardiff Road	Approved List
Garland	In keeping with the nearby Road name, Meadow Road	Abbey	Former Cox & Wyman Site, Cardiff Road	Approved List
Henshaw	Name of a printing press that was used at the former Cox & Wyman site	Abbey	Former Cox & Wyman Site, Cardiff Road	Officers Suggestion. No comments received
Platen	To continue with the role of printing. This is a name for a variety of roles in printing or manufacturing trade.	Abbey	Former Cox & Wyman Site, Cardiff Road	Officers Suggestion. No comments received
Printers	In memory of Former Cox & Wyman Printers	Abbey	Former Cox & Wyman Site, Cardiff Road	Bell Tower Community Association
Timsons	Name of a printing press that was used at the former Cox & Wyman site	Abbey	Former Cox & Wyman Site, Cardiff Road	Officers Suggestion. No comments received
Wyman	Part Name of Former Cox & Wyman Site	Abbey	Former Cox & Wyman Site, Cardiff Road	Bell Tower Community Association

5 FINANCIAL IMPLICATIONS

- None directly from this report.

6 LEGAL IMPLICATIONS

- The creation of street names should follow the guidelines detailed in the “Data Entry Conventions and Best Practice for the National Land and Property Gazetteer”, a reference manual based on Property Addressing Standard BS7666:2006 Parts 1 & 2.

Appendix 1 - Former Cox & Wyman Site, Cardiff Road, Reading



Title: Street Naming and Numbering
 Former Cox & Wyman Site, Cardiff Road, Reading - Location Plan

SN&N Ref.: 34520190701 Date: 07/02/2020 Scale at A4: 1:1250

Produced by GI & Business Systems Ref: SNN/RBC/2019/0719 Applications July 19/34520190701 - Cardiff Road



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 Borough Council
 Working better with you

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Appendix 2 - Approved Street List

Street Name	Reason for suggestion	Preferred area / site
Alderney	Channel Island	None specified
Ambleside	A place in the lake district	Kentwood
Arlington	Random selection	West Reading
Belvedere	Victorian name for a viewing point on a tall building	None specified
Braunston	UK place name and canal junction	None specified
Brecon	A Welsh town	Bugs Bottom / Caversham
Buckler	Derek Buckler, and Bucklers Of Reading Car company. 1947 - 1964 at 67 Caversham Road	Caversham Road / Caversham Heights
Burns	2001 World Rally Champion who died in 2005, aged 34.	None specified
Byron	Poet	None specified
Coppell	Former Reading Football Manager	None specified
Curtis	Geoff Curtis, Reading Racers Speedway in 1973, part of the British League Division One Championship team. Killed in Sydney on 5th Dec 1973, 40 years anniversary in 2013.	None specified
Depass	Harvey DePass, Reading's first Community Relations Officer	Caversham
Dundas	Canadian town name	None specified
Dunelm	Abbreviation of a latin word	None specified
Eastwood	Random selection	None specified
Elgin	Scottish town name	None specified
Erith	Riverside town name in Bexley Borough London	None specified
Falcon	Name of a bird	None specified
Festival	40+ years of Reading Festival	None specified
Flint	Old Reading street name - lost during building of civic centre & IDR	Katesgrove
Flower	Random selection	None specified
Gardener	Random selection	None specified
Garland	Named after British naval vessel	None specified
Gold	Mineral theme	None specified
Guernsey	Channel Island	None specified

Street Name	Reason for suggestion	Preferred area / site
Hampton	Named after British naval vessel	None specified
Hampshire	Named after British naval vessel	None specified
Harwich	Named after British naval vessel	None specified
Hope	Named after British naval vessel	None specified
Humber	Named after British naval vessel	None specified
Iron	Mineral theme	Katesgrove
Ivory	Random selection	None specified
Jersey	Channel Island	None specified
Jonsson	Per Jonsson. Reading speedway team and World Champion.	Whitley
Kennedy	Phil Kennedy, BBC Radio Berkshire presenter	None specified
Knox	Random selection	None specified
Larose	Random selection	None specified
Ledger	Random selection	None specified
Leicester	Random selection	None specified
Limerick	Celebrating Reading's Irish community.	None specified
Madejski	John Madejski - Reading Football Club owner	None specified
Margate	Random selection	None specified
Matrix	Former Reading nightclub	None specified
Michanek	Anders Michanek. Reading speedway team and World Champion.	Whitley
Monarch	Random selection	None specified
Norwich	Random selection	None specified
Nottingham	Random selection	None specified
Nuneaton	Random selection	None specified
Oban	Random selection	None specified
Pantry	Peoples Pantry restaurant, badly damaged by a bomber on 10th February 1943. 41 people killed and 49 injured.	None specified
Peach	Andrew Peach, BBC Radio Berkshire presenter	None specified

Street Name	Reason for suggestion	Preferred area / site
Perkins	Make of engine used locally	Worton Grange
Price	Candle-maker	None specified
Proctor	Make of steam engine used locally	Worton Grange
Pyeatt	Reading Speedway rider from 1981/82 who was killed in July 1982.	None specified
Ransome	Make of steam engine used locally	Worton Grange
Redway	Bernard Redway, Poet, Athlete, expeditioner and mountaineer.	None specified
Rowland	Unknown reason	None specified
Ruston	Make of steam engine used locally	Worton Grange
Sangar	Sangar is a type of look out tower.	Brock Barracks
Sark	Channel Island	None specified
Saunderson	Make of tractor once used locally	Worton Grange
Saxon	Anglo-Saxon tribe, Readingas, who settled the area.	None specified
Sentinel	Make of steam engine used locally	Worton Grange
Signal	Former GWR signal works was located in Reading	None specified
Sprott	Michael Sprott is the former British and Commonwealth Heavyweight champion from Reading.	None specified
Stephenson	Steam engine designer	None specified
Steve Death	Steven Victor Death, former Reading Football Goalkeeper	None specified
Tallow	A form of lubricant once made locally	None specified
Thompson	Make of steam engine used locally	Worton Grange
Thornycroft	Historic firm formerly based on the bank of the Thames	None specified
Tidman	Make of steam engine used locally	Worton Grange
Tilley	Historic type of oil lamp	None specified
Ufton	Local village	None specified
Ullapool	Scottish town	None specified
Vickers	Aircraft manufacturer	None specified
Vickers	Aircraft manufacturer	None specified

Street Name	Reason for suggestion	Preferred area / site
Viking	Norse warriors	None specified
Vulcan	Royal Airforce Bomber	None specified
Watkins	Professor Derek Watkins, Reading pupil, cancer survivor, trumpet player and trumpet designer. Went to school in Whitley.	Whitley
Westray	Scottish island	None specified
Whitchuch	Local village	None specified
Yateley	Local village	None specified
Yattendon	Local village	None specified
Zenith	Random selection	None specified

COMMITTEE REPORT

BY THE DIRECTOR OF ECONOMIC GROWTH & NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 4th March 2020

Ward: Abbey

Application No.: 182137/FUL

Address: "Broad Street Mall", Broad Street, Reading, RG1 7QG

Proposal: Construction of three residential buildings (Use Class C3) ranging in height from 5 to 20 storeys above Broad Street Mall (Site E to provide up to 42 units, Site B to provide up to 134 Units and Site A to provide up to 148 units) and provision of a podium level amenity area, Construction of a 16 storey building on South Court comprising ground and first floor retail (Use Class A1/A2/A3) and residential over upper floors (Use Class C3, Site C to provide up to 98 units), Creation of ground floor retail units (Use Class A1/A3/A4) fronting Dusseldorf Way and ground floor retail (Use Class A1/A2/A3) fronting Queens Walk, all necessary enabling and alteration works required within the existing Broad Street Mall basement, ground and upper floors. Associated car park alterations, provision of servicing and refuse storage, cycle parking, public realm, landscape, and other associated works.

Date valid: 14/2/2019

Application target decision date: 16/5/2019

Extension of time date: 23rd March 2020

RECOMMENDATION:

Delegate to Head of Planning, Development and Regulatory Services, subject to no new substantive consultation responses by 20th March 2020 and satisfactory wind/microclimate verification, to:

- (i) GRANT full planning permission subject to completion of a S106 legal agreement; or
- (ii) to REFUSE permission should the legal agreement not be completed by 23rd March 2020 (unless officers on behalf of the Head of Planning, Development and Regulatory Services agree to a later date for completion of the legal agreement).

The legal agreement to secure the following:

Affordable Housing:

- Provision of at least 42 of the dwellings to be secured as affordable housing.
- Tenure to be Affordable Private Rented, with rents to be no greater than the Local Housing Allowance (LHA).
- Mix of affordable units on site: 10 x 3 bed, 16 x 2-bed and 16 x 1 bed
- Affordable Housing Covenant period - in perpetuity. In the event of a change from Build to Rent tenure all affected Affordable units revert to Affordable Rent tenure with rents set no higher than LHA. The affected units to be offered for sale to a Registered Provider and the Council. In the event that an RP or the Council do not take control of the units an equivalent financial contribution shall be made to the Council to enable AH provision elsewhere in the Borough to be determined by a mutually agreed valuation, or arbitration.
- Service charges - All rents to be inclusive of service charge but exclusive of utility bills and council tax and 'pay for' services - hire of function room etc.

- Assured Shorthold Tenancies offered at 3 years in length. Tenants may opt for shorter tenancy. Include 6 month tenant-only, no fee, break clause (2 month notice)
- Rental growth limited to LHA.
- Nominations agreement to be finalised with the LPA

General Build to Rent Provisions

- 20 year minimum as BTR.
- Assured Shorthold Tenancies offered at 3 years in length. Tenants may opt for shorter tenancy. Include 6 month tenant-only, no fee, break clause (2 month notice). [as per NPPG guidance]. Unless otherwise agreed in writing by the LPA.
- Annual statement to RBC, confirming the approach to letting the affordable units, their ongoing status, and clearly identifying how the scheme is meeting the overall affordable housing level required in the planning permission. [as per NPPG Paragraph: 006 Reference ID: 60-006-20180913]
- Definition and demarcation of all communal facilities on plan. Clarification of nature/function of each to be included in the s106 agreement.

Financial Contribution of £1,092,000 as mitigation to improve the public realm and the setting of the St Marys Butts and Castle Street Conservation Area. Payable prior to commencement of the development and index linked from the date of permission.

(Policy EN3 and National Guidance)

Financial contribution of £633,000 as mitigation to ensure improved capacity at local parks within Abbey Ward, reflective of the substantial increase in residential population. Payable prior to first occupation of any residential unit and index linked from the date of permission.

(Policy EN9)

Carbon Emissions

Submission of an as-built assessment to demonstrate that the residential development achieves a minimum of 35% improvement in regulated emissions over the Target Emissions Rate in the 2013 Building Regulations, at the latest six months after first occupation, unless a different timescale is agreed with the Council to reflect the characteristics of the development. This assessment will inform the final contribution of £1,800 per remaining tonne towards carbon offsetting within the Borough (calculated as £60/ tonne over a 30 year period).

(Policy CC2 and CC3)

An Employment Skills and Training Plan (construction phase)

Travel Plan - Provision and operation of a residential travel plan no later than first occupation of the first residential unit. (Policies: CC9)

Management Plan for the operation of the car park, including provision of 22 spaces allocated to new residential units

Conditions to include:

- Time Limit - 3 years
- Approved plans
- Development to be in accordance with the phasing plan
- Pre-commencement (barring demolition) (per phase) details of all external materials to be submitted to the LPA (and sample details to be provided on site) and approved in writing with the LPA. Approved details to be retained on site until

the work has been completed.

- Pre-commencement (barring demolition above ground level) programme of archaeological work in accordance with a written scheme of investigation
- Pre-commencement (barring demolition) security strategy (achieving the 'Security by Design' Award) to be submitted / approved / implemented / retained.
- Prior to commencement of works above slab level, a written strategy for access control throughout the three towers be submitted to and approved by the authority. The development (and subsequent access control system) shall be carried out in accordance with the approved details and shall not be occupied or used until confirmation of that said details has been received by the authority.
- Pre-commencement (including demolition) construction (and demolition) method statement, also including a construction and environmental management plan for biodiversity
- Pre-occupation (per phase) vehicle parking spaces provided in accordance with the approved plans
- Pre-residential occupation (per phase) cycle parking provided in accordance with the approved plans
- Pre-occupation (of any use associated with the relevant phase) visitor / commercial bicycle parking - plans to be approved
- Pre-occupation (per phase) bin storage provided in accordance with the approved plans
- Parking permits - pre-occupation (per phase) notification of postal addresses
- Parking permits - prohibition on entitlement to a car parking permit
- Pre-occupation (per phase) car parking management plan for allocation for staff/residents (including tenure breakdown)/visitor and subsequent management of spaces
- Pre-occupation (per phase) delivery/servicing management plan details to be submitted/approved/maintained as such thereafter
- Implementation of approved noise mitigation scheme
- Pre occupation of Block E report to be submitted to demonstrate of sound insulation of adjacent fan to secure 0db over existing background noise levels.
- No development shall commence on site until an Air Quality Mitigation plan shall be submitted to and approved in writing by Local Planning Authority.
- Implementation of approved noise and dust during demolition and construction measures
- Pre-commencement (including demolition) contaminated land site characterisation assessment
- Pre-commencement (including demolition) contaminated land remediation scheme
- Pre-construction contaminated land validation report
- Reporting of unexpected contamination at any time
- Pre-commencement (including demolition) land gas remediation scheme
- Pre-occupation land gas validation report
- Hours of demolition/construction works
- No burning of materials or green waste on site
- No mechanical plant installed until a noise assessment of such plant has been submitted and approved. Maintained as approved thereafter.
- No kitchen extraction installed until an odour assessment and odour management plan has been submitted and approved. Maintained as approved thereafter.
- Pre-commencement arboricultural method statement and tree protection plan (to safeguard existing tree adjacent to the site)
- Pre-commencement (barring demolition) submission of hard and soft landscaping, services, planting plans, tree pit specifications.
- Implementation of approved soft landscaping prior to occupation of relevant phase or a timetable agreed in writing with the LPA.

- Replacement planting for anything that dies within 5 years of planting.
- Pre-occupation submission of a landscape management plan & implementation
- Pre-occupation (per phase) submission/approval/implementation of details of the biodiversity enhancements
- Pre-occupation (per phase) lighting scheme details to be submitted/approved/maintained as such thereafter
- Development in accordance with the FRA hereby approved.
- Pre-occupation (per phase) completion of the approved sustainable drainage scheme. Subsequent management and maintenance in accordance with the approved details.
- No piling or any other foundation designs using penetrative methods permitted other than with the written consent of the Local Planning Authority (consult the EA at the time of submission)
- No infiltration of surface water drainage into the ground permitted other than with the written consent of the Local Planning Authority (consult the EA at the time of submission)
- Implementation of Energy Statement measures
- (i) Pre-commencement (of the relevant part of the development) final design stage BREEAM assessments to ensure that the retail unit within Block C achieves at least a 'Very Good' rating
- (ii) Within 3 months of occupation final BREEAM certificate retail unit within Block C achieving at least a 'Very Good' rating
- No fixing or installing of miscellaneous items to the external faces or roof of any building without the prior approval in writing of the local planning authority
- Ground floor non-residential units shall retain 'active window displays'
- Hours of Operation (Sunday to Thursday: 9:00- 23:00, Last food order: 21:30 Friday to Saturday: 9:00-23:30 Last food order: 23:00)
- Prior to occupation Security arrangements to be submitted, stating measures to secure the A1/A2/A3 units when closed and street furniture to be brought into building.
- Prior to occupation submission and approval of an external lighting strategy
- Details of street furniture to include bins to be submitted and approved prior to occupation.
- Provision of 22 wheelchair adaptable units within the development
- Pre-occupation provision and retention of lifts to Blocks A, B, C and E
- Provision and Retention of amenity deck for Blocks A, B and C and the roof level amenity for Block E.
- Secure refuse storage from vermin
- Thames Water condition

Informatives:

- Positive and proactive requirement
- S.106 applies
- CIL-liable
- Terms and conditions
- Pre-commencement conditions
- Works affecting the Highway
- Fee for conditions discharge
- Building Regulations - noise between residential units
- Thames Water requirements
- Environment Agency requirements

INTRODUCTION

- 1.1 The 2.42ha application site consists primarily of the Broad Street Mall (BSM); a large shopping centre situated in the south west part of Central Reading, approximately 10 minutes walk from Reading Station. The application site also encompasses the areas of public realm set immediately adjacent to the existing Mall frontages orientated towards Dusseldorf Way (to the south), Queens Walk (to the west), Oxford Road (to the North) and St. Marys Butts (to the east).
- 1.2 The area immediately surrounding the site contains a mix of uses and building heights, styles and time periods. At the time of writing the Eva's nightclub building is set directly to the east of proposed Site C, oriented towards Hosier Street. However, it should be noted that the Eva's site has prior approval for the demolition of the building and planning permission to erect a 7/8 storey hotel. Adjacent to this is a Public House (formerly known as Pavlov's Dog' now The Boundary) a property of townscape merit which is considered to be a non-designated heritage asset; and the existing Army Careers Office. These units are not owned by the applicant and do not form part of the application site. Hosier Street is also a location for Reading Market and contains an existing high-walled electricity substation.
- 1.3 Set further east is St. Mary's Butts, the eastern side of which has a mixed character containing 4/5 storey commercial units with a contemporary appearance (eg Café Nero) and much older gable ended buildings with elements of timber framing with herringbone brick (eg Pizza express). Pizza Express lies within the St. Mary's Butts/Castle Street Conservation Area, which is centred on the Grade I Listed Reading Minster. To the south of Dusseldorf Way (which links Hosier Street to the east, accessible to vehicular traffic) there is existing hard landscaping in the form of pedestrian routes that provide circulation areas and links to Castle Street. This area also contains soft landscaped public space including mature trees formed within large raised planters. These spaces provide separation to the former Civic Office site situated adjacent to the Hexagon Theatre; and the existing Magistrate Court and Thames Valley Police Headquarters fronting Castle Street.
- 1.4 To the west of the site sits the Penta Hotel, Student accommodation (at 15 Queens Walk) and the Hexagon Theatre. These are relatively modern buildings constructed in a range of building materials including concrete, grey metal, red brick and coloured cladding, set within the Inner Distribution Road (IDR). On the western side of the IDR and Howard Street lies the Russell Street/Castle Hill Conservation Area. To the north of the Mall on the opposite side of the Oxford Road retail units are predominantly found at ground floor. No 38 Oxford Road and the 4/5 storey McIlroy Building, set opposite Site E, also contain residential units within the upper floors within buildings constructed in a mix of red and blue/grey brick with buff detailing.
- 1.5 It is important to note the differing man-made land levels within and surrounding the application site. The pedestrian accesses to the BSM entrances on Oxford Road and St Marys Butts are set at ground level. However, the pedestrian access from Dusseldorf Way and Queens Walk are set on a podium which is not natural ground level but accommodates access roads, servicing areas and voids beneath. Within this report this level is referred to as lower podium level. This change in levels is illustrated by the pedestrian entrance to the Hexagon Theatre and community garden on the former civic site that are set at a lower level than Dusseldorf Way and Queens Walk.

- 1.6 In relation to the Mall itself, which is wholly retained within the proposed development, the majority of the original structure dates from circa 1970. The existing 3 storey structure, formally known as the Butts Centre is of brutalist design and is considered to be of limited architectural value where aesthetic improvements are welcomed. It is noted that the southern elevation contains a concrete frieze which is a prominent design feature of the building which is to be retained. Due to the differing land levels within the site the structure contains a large basement at lower ground level that houses plant rooms, the main waste storage area and storage facilities to serve the retail units (situated over the 2 floors above). The Mall also contains a public car park with over 700 spaces split between 3 floors, part first, second and on the existing flat roof. This roof area is referred to as the upper podium level within this report. This public car park is leased to Reading Borough Council and operates 24-hours a day, seven days a week. Vehicular access to basement level for deliveries and servicing, and the car park above, is via Castle Street (south) or Caversham Road (A329) to the west. The Mall also house two further office buildings that exceed the upper podium level in height Fountain House (located on northwest corner) and Quadrant House (located on the southeast corner).
- 1.7 The application site also contains areas of public realm with differing characteristics directly adjacent to the Mall Building. Oxford Road and St Marys Butts formed of a mix of tarmac, grey concrete paving slabs and red brick pavements adjacent to busy vehicular roads on prominent bus routes, with St Marys Butts also housing elements of Reading Market. Queens Walk and Dusseldorf Way are primarily pedestrian routes formed of tarmac and grey concrete paving slabs, with existing vegetation currently only in the form of free standing planters on Queens Walk.
- 1.8 In terms of Local Plan designation the BSM is sited in the Reading Central Area and within the West Side Major Opportunity Area (Policy CR12). The proposal also falls within the Tall Buildings Cluster Western Grouping (Policy CR10b) and is considered within the Council's Tall Building Strategy (Adopted 2008, Updated 2018). The application site additionally forms a major element of the Supplementary Planning Document 'Minster Quarter Area Development Framework' (MQADF) adopted in December 2018.
- 1.9 The application site has a number of other designations, including being located within:
- An Air Quality Management Area
 - the Central Core
 - the Office Core
 - the Primary Shopping Area
 - a Primary Shopping Frontage (orientated towards Oxford Road and St Marys Butts)
- 1.10 With regard to heritage assets the application site is not within a Conservation Area but sits adjacent to the St Mary's Butts/Castle Street Conservation Area and Russell Street/Castle Hill Conservation Area as shown on the plan below.

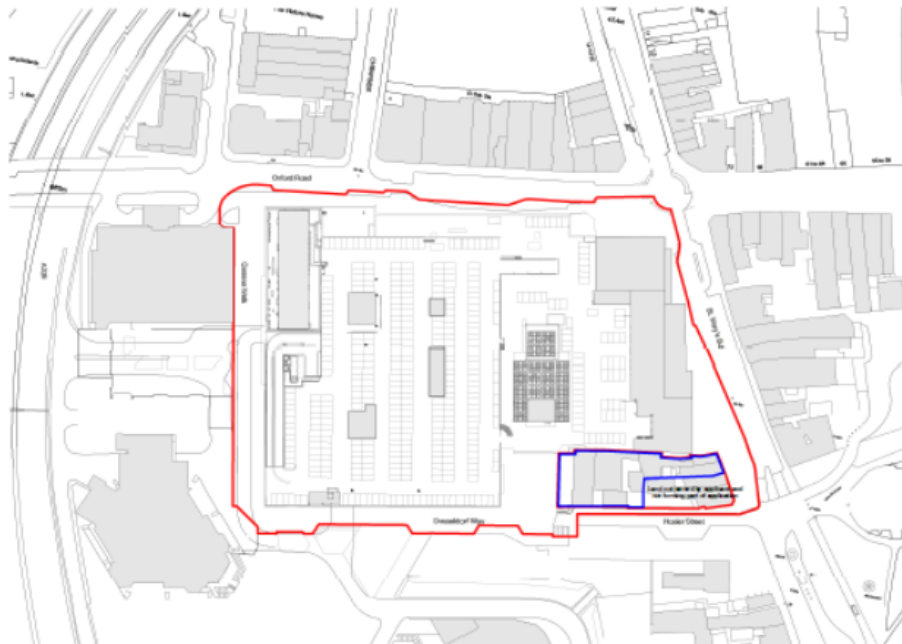
Map to show current Conservation Area Boundaries:



1.11 The St Marys Butts/Castle Street Conservation Area contains a large number of statutory listed buildings (shown with * above) particularly along Castle Street, including:

- Church of St Mary Reading Minster - Grade I
- Church of St Mary, Castle Street - Grade II*
- Sun Inn, Castle Street - Grade II
- Former Cottage at rear of No.8 Castle Street- Grade II
- 8,10 & 12 Castle Street - Grade II
- The Allied Arms Inn - Grade II
- 55 & 55A St Mary's Butts - Grade II
- Queen Victoria Jubilee Fountain - Grade II
- Jubilee Cross - Grade II

Location Plan



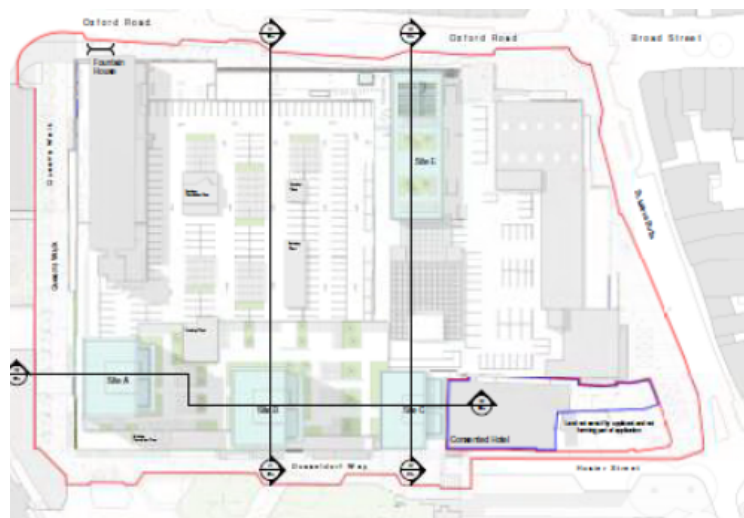
Aerial photograph



2.0 PROPOSALS

2.1 The application seeks full planning permission for a new mixed use development containing both retail space (circa 1,500sqm) and Build to Rent residential accommodation (up to 422 units). The proposal consists of the erection of 4 residential blocks, with private upper level amenity space, within and above the existing Broad Street Mall adjacent to Dusseldorf Way, Queens Walk and the Oxford Road. At ground floor the proposal seeks the reconfiguration of existing retail floor space to form 4 retail units in a variety of A1/A2/A3/A4 uses. The proposal also includes associated works throughout the mall site to facilitate the new built form and improvements to the public realm on Dusseldorf Way and Queens walk.

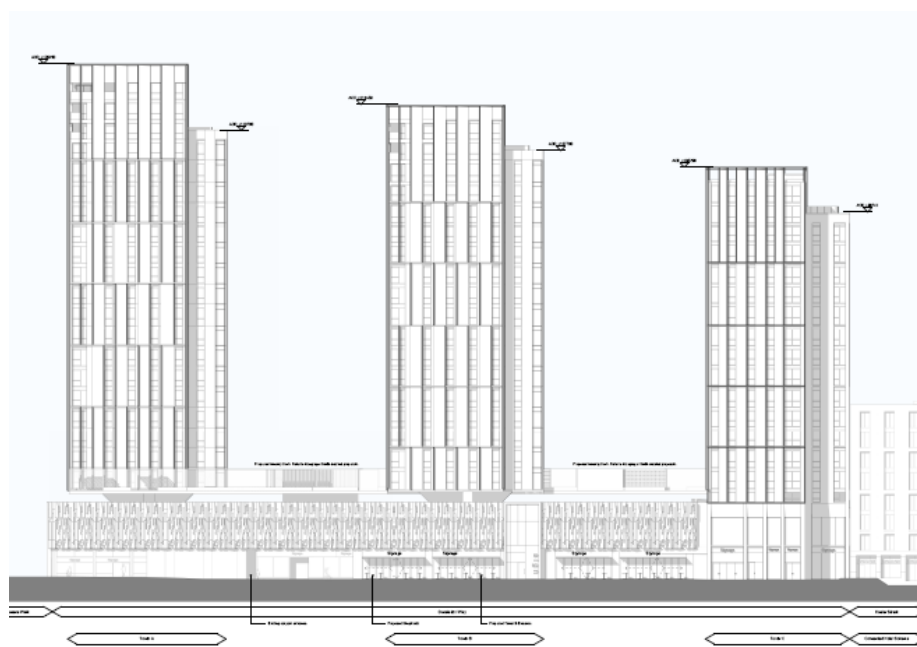
Proposed Site Masterplan



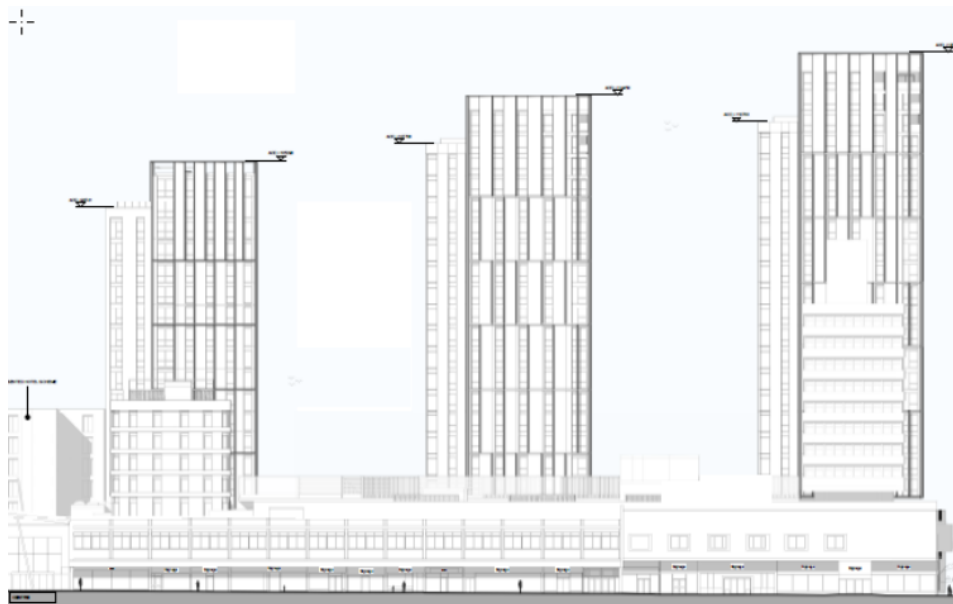
2.2 As shown above the residential element of the scheme is housed within 4 separate structures inserted within the existing built envelope of the Broad Street Mall. These are referenced as Site A, Site B, Site C, and Site E. Site D

within the original submission has been deleted from the scheme. The position of these structures was determined by the applicant by the areas where the proposals would meet the existing ground level and allow for residential access whilst maintaining an active retail frontage to the Mall.

Proposed Dusseldorf Way Elevation to show Amended Site A, B and C



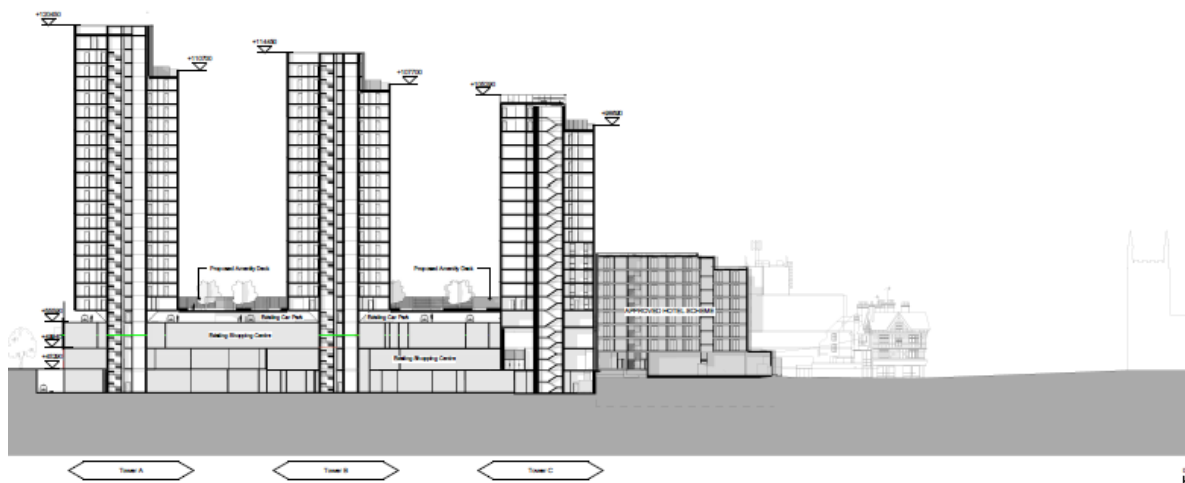
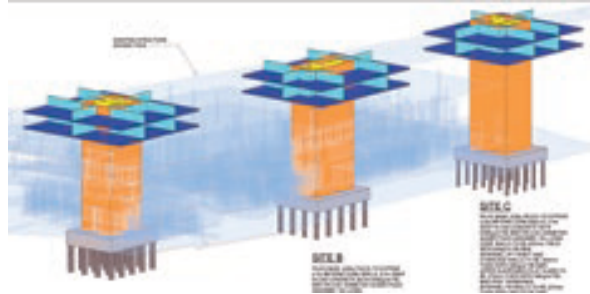
Proposed Oxford Road Elevation to Show Site E (with Amended Site A, B and C to the rear)



- 2.3 In order to erect the residential units within Site A, B and E ‘through’ the existing mall the new structures are proposed to be constructed using ‘Confined space piles’ coming up from the existing basement level. These piles will support each central reinforced concrete circulation core (containing the lift and stairs) which will provide the main support of the upper suspended floors in each block.

Therefore, the residential elements of Sites A and B and the proposed upper level shared amenity area are suspended above the existing roof top car park, which is to be retained.

Diagrammatic illustration of the piles in orange and suspended floors in blue
 Fig from DAS (2018 point 2.12 Structural Constraints)

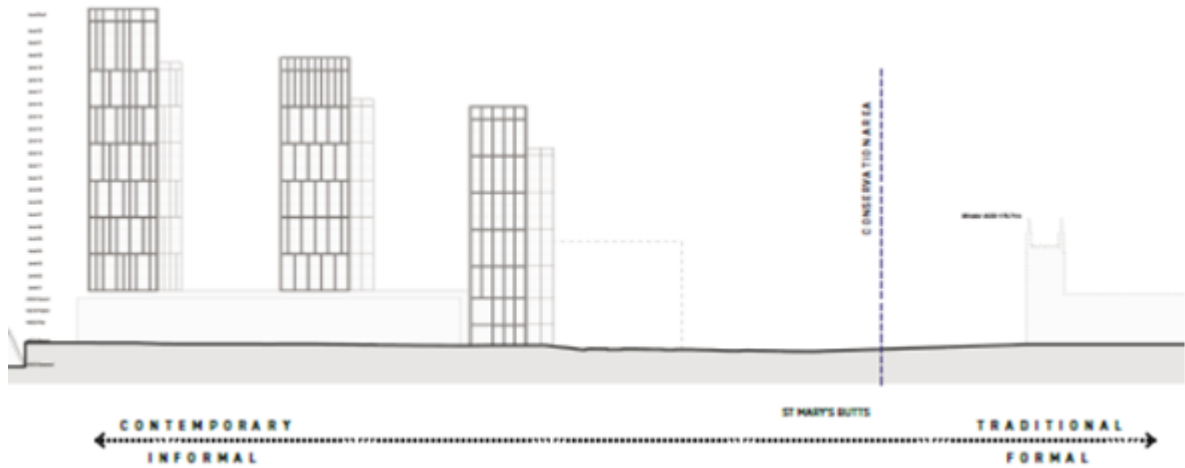


Site section through Dusseldorf Way Elevation

- 2.4 In order to facilitate this reconfiguration at existing lower levels, and new build elements of the scheme, the description of development seeks permission for all necessary enabling and alteration works required within the existing Broad Street Mall basement, ground and upper floors, associated car park alterations, provision of servicing and refuse storage, cycle parking and other associated works. Amenity space and improvements to the public realm are also sought.
- 2.5 NOTE: In the following sections the term “Above Ordnance Datum (AOD)” is used. For information the AOD level refers to the height of mean sea-level (reference point in Newlyn, Cornwall) and not ground level on site. This is basis of the national height system for Britain.
Site A the tallest of the proposed blocks at AOD+120m with 20 stories of accommodation above the Mall containing 148 residential units (73 x1 bed, 71x 2 bed and 4x 3 bed). This block is located adjacent to the junction of Queens Walk and Dusseldorf Way but is set back 10m from the existing southern elevation of the Mall. The double storey height residential entrance to this block is accessed from Queens Walk. To facilitate construction of the core of the building and the residential entrance, 3 existing units will be refigured with the creation a single 172m² retail unit.
- 2.6 **Site B** is set down in height to AOD +115 forming 18 stories of accommodation above the Mall containing 115 residential units (64x1 bed ,66x 2 bed and 4x 3

bed). This block is located adjacent to Dusseldorf Way, the existing southern elevation of the Mall. The double storey height residential entrance to this block is accessed from Dusseldorf Way. To facilitate the construction of the core and the full height residential entrance existing unit 36 and 37 (which have permission to be amalgamated to form a new food court) will be subdivided into 2 units providing fully glazed ground floor retail frontages.

- 2.7 **Site C** although an 18 storey building is set down in height again, to AOD +103, as this building infills the South Court entrance from lower podium level. It contains 98 residential units of accommodation from 2nd to 17th floor (48x1 bed, 46x2 bed 4x 3 bed). Social space is also located the 2nd floor for communal use by residents. This block is located adjacent to Dusseldorf Way adjoining Hosier Street and is set flush with the existing retail frontage. The full height residential entrance to this block is accessed from Dusseldorf Way. As this block is wholly new build the ground floor re-provides an enclosed access to the interior of the existing Mall. One new retail unit is created at ground floor (190m² retail unit).
- 2.8 **Site E** is AOD 71 in height forming 5 stories of accommodation above the Broad Street Mall orientated towards Oxford Road. This block, as amended, contains 42 residential units (16x1 bed, 16x2 bed and 10x3 bed). The residential access to be provided at ground floor to Oxford Road by utilising existing floor area within the current 'Trespass' retail unit.
- 2.9 In terms of appearance and materiality the scheme has been through a number of design iterations, considered by the South East Design Review Panel and officers, before evolving into the current scheme presented in this report. The tower elements are geometric in form with the eastern side of each structure set down to form a subordinate 'shoulder element' to create a more visually slender building. The submitted DAS sets out that the concept of the materiality of the towers is that they appear as a family of buildings rather than a repetitive, regimented group of blocks. In terms of appearance Sites A, B and C are constructed of metal cladding interspersed with full height glazing with deep reveals to give depth and interest to these elevations. The metal cladding system consist of a primary grid of vertical fins and a secondary layer of metal panels. The application states that metal has been selected as it can achieve a variation in tone and texture to create subtle differentiation across the 'family of buildings'. Metal is also aesthetically lightweight as it is noted there are structural limitations on the weight of the proposed new structures above the Mall. Block C also contains a brickwork cladding system on the lower grounded portion in response to the conservation area, and permitted hotel. The colour palette chosen for the proposed scheme has been inspired by the existing local vernacular which includes red and buff brick along with grey flint.



Elevational treatment fig 4.2 of DAS (note this shows the original height of Site A now reduced)

2.10 Due to the height of the towers the structures are required to have a definitive ‘top, middle and bottom’. In order to achieve this the proposed revised materials for the towers include deep window reveals and the introduction of a bespoke laser cut metal panel with the uppermost floors, inspired by the existing concrete frieze of the Broad St Mall car park. Site A the tallest structure, also incorporates inset glazed balconies at first floor.



2.11 Block E is not classified as a tall building and its form and appearance differ to the other elements. This block has been reduced in width from the original submission and is constructed of a Terracotta cladding system proposed in light and dark grey tones to reference the existing local vernacular and the brick used in the McIlroy building opposite.

2.12 For the external amenity space for the residential units the proposal provides 2,085 m² of private amenity space on a newly created deck above car park level shared by and linking residents of Sites A, B and C. There are additional areas provided on the ‘shoulder elements’ as roof top terraces associated to individual

flats. The shared space bounded by a 3m glass balustrade seeks to create a series of 'urban rooms' containing timber pergola structures, play space, communal seating and planting to create a green outlook to include trees. Site E incorporates a 226 m² roof top garden for its residents. The communal amenity space is contained by 1.8m parapet also containing timber pergola structures, communal seating and planting.

- 2.13 In relation to the public realm at ground level the proposals seek to activate the Mall frontages by articulating the proposed entrances into the residential buildings; and creating places for pedestrians to “pause, rest and meet.” (DAS). The indicative works to Queens Walk includes resurfacing the area with red brick paviours, and providing street trees and planters to seek to enhance the comfort at street level, by mitigating wind, and providing seating to promote social interaction and places to relax. There will also be integrated cycle parking and replacement of existing street lights.
- 2.14 Dusseldorf Way is seen as an important connection between the Minister and the Hexagon Theatre. The Applicant states “the proposals therefore seek to link these areas through to Hosier Street to bring a consistent finish enhancing navigation of the streets to connect in with the future Minster Quarter Development Proposals” (Landscape DAS). The indicative works seek to resurface the area with red brick paviours, enhance the concrete frieze through “creative light intervention”, with existing street trees to be retained and area of living wall and seating with a large planted bed provided (to cover a solid brick section of wall beneath the frieze). There will also be integrated cycle parking and public seating.
- 2.15 For the car park at upper podium level, visible from the proposed residential units, this is proposed to be enhanced by the introduction of metal pergolas to support green climbing planters and freestanding planters containing evergreen Jasmine climbers and ornamental grasses.

November ‘DAS 2019 Addendum Landscape and Public Realm’ Fig 3.4 Illustrative Master Plan

The Landscape Proposals
 The landscape proposals can be split into five distinctive areas which are identified on the illustrative masterplan (right) and will be discussed in detail in the following sections.

- 1 Queens Walk
- 2 Dusseldorf Way
- 3 The Amenity Deck (Blocks A-C)
- 4 The Amenity Deck (Block E)
- 5 The Podium Carpark



- 2.16 **Car Parking**
 Given the town centre location of the site no additional car parking is proposed, however 22 wheelchair accessible parking spaces within the existing Broad Street

Mall multi storey car park will be allocated to the development. It is stated there are a total of 787 car parking spaces currently within the multi storey car park with 109 car parking spaces to be displaced to facilitate residential cores, the introduction of accessible spaces and realignment of vehicular routes.

- 2.17 A total of 232 secure cycle parking spaces for resident will be provided within the basement of Broad Street Mall for Blocks A, B and C, whilst secure cycle parking is provided at roof level of the multi-storey car park, immediately adjacent to Block E.
- 2.18 Servicing vehicles will enter the site via the existing basement level accessed from Castle Street in keeping with the existing retail units. Bin stores are located at basement level within the newly constructed retail cores. Building E will have additional service corridors as this Block's bin store is not directly accessible from the existing service road.
- 2.19 During the course of the application a number of changes have been made to the proposals, including the following main changes:
- Block A has been reduced in height by 2 storeys (6 metres overall) with loss of 16 units
 - The number of units Block E has been reduced in order to provide improved unit sizes for individual units in this block
 - Inset balconies have been introduced to the upper floors of Blocks A, B and C to provide articulation and relief to the elevations.
 - Shoulders of Blocks A, B and C have been reduced in height to emphasise the verticality of the buildings.
 - Blocks A, B and C have been revised proposing more slender massing.
 - All north facing single aspect units have been removed.
 - Block D (Quadrant House) has been deleted from the proposals and removed from the planning application.
 - Communal residential amenity deck for Blocks A, B and C have been increased in size and been reconfigured to make better use of the space whilst introducing defensible space around the first floors of the residential buildings.
 - Ground level elevation and base of Block C has been amended to tie in with the existing Broad Street Mall elevation along Dusseldorf Way.
 - Amendments to the materials palette of the public realm and simplifications of the proposals along Dusseldorf Way and Queens Walk.
 - Materiality of Blocks A, B and C have been amended from terracotta cladding to metal rainscreen cladding.
 - Block C shoulder is now brick to accentuate the materiality of the adjacent consented hotel and Conservation Area.
 - Block E elevational treatment has been amended to terracotta cladding from previously tabled brick slip system.
 - Hammerhead to Block E has been removed and overall form rationalised.
 - Block E elevation rhythm redesigned to emphasise horizontality inspired by Fountain House.
 - Inclusion of rooftop communal amenity space for Block E.

Environmental Impact Assessment

- 2.20 The development is EIA Development as defined under the Town and Country Planning (Environmental Impact Assessment) Regulations 2017. Revisions to the scheme submitted in November 2019 were accompanied by an Environmental Statement Addendum with relevant chapters updated.

- 2.21 The development would be liable for CIL due to the amount of new floorspace proposed. The Council's CIL Charging Schedule sets a base rate of £120 per square metre for residential floorspace. The rate is index linked from the date of adoption of Schedule, and the current rate for 2020 is £157.18 per square metre. Based on the final amended scheme, supplied by the Applicant, the residential units have a proposed GIA of 30,411 m2 resulting in a CIL figure of £4,780,000.
- 2.22 No cross checking of floor area calculation methodology has been conducted to validate the figures supplied. This cross check will need to be conducted post-decision to ensure that all areas have been assigned to the relevant charging schedule.
- 2.23 The usual caveats apply; the buildings must have been in lawful use and exist on the day that planning permission first allows development. Any relief for Social Housing will need to have annotated plans and supplementary floor areas calculations to validate the amount. This gives an indication of the likely CIL outcomes but is provided without prejudice to further examination of the CIL application by the Council.
- 2.24 This application is reported to planning applications committee because it is a major category application. Members also carried out an accompanied site visit on 21st March 2019.

3. PLANNING HISTORY

- 3.1 There have been numerous applications for development within the Broad Street Mall both internal and external to facilitate the use as a shopping centre. There have been no substantial applications for works above the car park podium level.

Of relevance to the scheme under consideration within this report are the following permissions:

180823 at 47 Oxford Road (opposite the Penta Hotel) for Subdivision of three-storey retail unit (Class A1) and change of use to form: 1x retail unit (Class A1) at part basement / part ground floor; 2x flexible retail or restaurant units (Class A1/A3) at ground floor level; and 2x assembly & leisure units (Class D2) - 1 at part basement / part ground floor & 1 at part ground, part first floor level, together with shared access and means of escape; associated replacement shopfront works and associated external alterations on Oxford Road and Queens Walk frontages.

Permitted 13/9/2018 and works commenced.

190099 at Units 36 and 37 Broad Street Mall (adjacent to the South Entrance of the Mall and Proposed Blocks A and B) For Amalgamation of Units 36 and 37 (Class A1) and change of use to form a flexible retail/restaurant/bar unit (Class A1/A3/A4), associated replacement shopfront works and associated external alterations on Dusseldorf Way and South Court frontages.

Permitted 31.7.2019 some works commenced.

182054 at 20 Hosier Street (adjacent to South Entrance of the Mall and Proposed Block A) for Demolition of all existing structures, erection of a part 7, part 8 storey building for use as 101 bed Hotel (Class C1 Use) at Ground - 8th Floor and Restaurant with ancillary Bar (Class A3/A4 Use) at ground floor, with means of access, servicing and associated works.

Permitted subject to a S106 Legal Agreement 4.11.2019

181689 SCO EIA Scoping Opinion

The content of which was agreed on validation of the current planning application.

A pre application submission was reviewed the D:SE Panel on 13.12.2018. The full planning application had been submitted on 5.12.2018. On 23.10.2019 a revised scheme was reviewed by Design South East for a second time to discuss the proposed amendments following the original comments. Further information was formally submitted to officers in November 2019.

4. CONSULTATIONS

Consultation responses are summarised where necessary due to the large scale nature of the proposal and the often lengthy discussions with consultees.

4.1 Environment Agency

The past use of the site presents a potential risk of contamination that could be mobilised during construction to pollute controlled waters which are sensitive in this location. No objection subject to condition to secure a remediation strategy including a preliminary risk assessment, submission of a verification report and control of any piling using penetrative methods.

4.2 Historic England

Historic England has raised concerns regarding the application on heritage grounds and consider that the proposed development would cause less than substantial harm to heritage assets. However, it is recognised that work has been carried out to mitigate harm in the buildings lower and closer to the Minster, and the wider benefits sought in terms of regeneration.

The impacts include harm to the character and appearance of Castle Street/ St Mary's Butts Conservation Area. In particular the area around St Mary's Reading Minster, along St Mary's Butts, where the proposal could compete with the Minster tower in views from the south east of the church, detracting from this important view of the Minster. Also, at points along Castle Street, where the proposal is considered to be an intrusion that would harm the visual quality of the street scape and thus the significance of the conservation area and the individual listed buildings.

It is noted that the site is identified as being suitable for tall buildings in the Minster Quarter Development Framework 2018 but also contains an aspiration to 'leverage value' from heritage assets to provide high quality public spaces. The document makes clear in section 2.2 that development delivered through this document will "need to work harder than most to make financial contributions to the ambitious programme of public realm measures". This echoes Historic England's advice in The Setting of Heritage Assets Advice Note 3 (Second Edition) on maximising enhancement and minimising harm which advocates removing harmful features and replacement with more harmonising elements. The MQDF proposes that the churchyard around Reading Minster is to become the green space for the existing and large number of new residents that would live in the area. In order to meet these aspirations the public realm around the Minster needs to be elevated to a good standard, which will require careful planning and considerable financial contributions to be secured by the Council through this development.

The judgement on whether the heritage harm that arises from the scheme is outweighed by public benefits is one for the Council to make. In our view, the proposals would cause less than substantial harm to a wide range of heritage assets as detailed above. Furthermore, the proposals do not, in our view, offer sufficient enhancements to the Conservation Area and setting of listed buildings that could go some way to ameliorating the extent of harm that would be caused by the prominence of the towers. We strongly encourage the Council to secure these enhancements, should they be minded to approve the scheme. We therefore consider that the issues and safeguards outlined in our advice need to be addressed in order for the application to meet the requirements of paragraphs 193, 194, 196 and 200 of the NPPF.

4.3 RBC Historic Buildings Consultant - Final Amended Plans - Revised Site A

The Broad Street Mall is a collection of poor-quality, modern buildings. The existing buildings are of low quality and have no architectural character or interest which particularly detracts from the character of St Mary Butts. The Hosier Street site is also described in the Conservation Area as having an unattractive appearance. The re-development of Hosier Street could represent an opportunity to develop the quality of the built environment in this area, but this necessitates buildings that have an appropriate scale, mass, alignment and materiality. The main potential impacts of the scheme would affect St Mary's Butts/Castle Street Conservation Area as well as longer distance views from the Russell Street/Castle Hill Conservation Area and Market Place Conservation Area.

The proposed building heights are still considered to result in less than substantial harm to the settings of nearby Listed Buildings and Conservation Areas, from visual intrusion, however the scale of the proposals are now within those set out by RBC in its own Minster Framework. Whilst the proposals would not harmonise with views from the Conservation Areas and would be intrusive within views of the many Listed Buildings in the area, it is recognised that the proposals should also be considered against any wider public benefits identified and their conformity with the overarching RBC Planning Framework for the Broad Street Mall.

4.4 Thames Valley Police

Would like to commend the applicant for a design and layout capable of supporting full electronic access control throughout the development, and that secure lobbies have now been designed into the ground floors of Blocks A,B, and C (as requested). To ensure that the opportunity to include a robust access control is incorporated suggest condition be placed upon any approval for this application. Advice to aid achieving this condition; Ref Secured by Design was also provided.

4.5 Berkshire Fire and Rescue - No comments received.

4.6 Housing Officer - Initial comments

The offer is below 30% so this must therefore be assessed against a viability appraisal. Bedsits are not required and ideally more 2 beds and less one beds would be sought but if it is in line with the overall scheme mix this is appropriate. Rents for the affordable units should be limited to LHA and is noted this may be reflecting the number of units that are viable.

4.7 Natural England - No comments to make.

- 4.8 **Thames Water** - No objection subject to condition due to an identified inability of the existing water network infrastructure to accommodate the needs of this development proposal. Thames Water will contact the developer in an attempt to agree a position on water networks but given the time Thames Water request a condition be added to any planning permission.
- 4.9 **Berkshire Archaeology** - No objection - but required that further archaeological work must be secured by an appropriately worded condition should the scheme be permitted. This is in accordance with Paragraph 141 of the NPPF which states that local planning authorities should '*require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible*'.
- 4.10 **RBC Transport**

Relevant points should be addressed by way of amended plans or updated information prior to the determination of the application. It is confirmed a Transport Assessment has been submitted.

Pedestrian Access to Residential and Commercial uses

The residential accesses for Sites A, B, C and E are deemed acceptable. This scheme identified an accessible path along the hotel frontage but the current proposals now include steps adjacent to the hotel. It would need to be confirmed that the proposed steps will not negatively impact the surrounding footway improvements secured through the adjacent planning permission. The previously submitted drawings for the hotel identified a potential regrading that would extend 8.9m west of the hotel. It is therefore essential that the applicant assesses these proposed improvements alongside the development to ensure that the proposals do not detrimentally impact the delivery of any scheme.

The proposed units along Dusseldorf Way include the provision of seating to the frontage and this has been deemed acceptable and is consistent with planning consent 190099.

Areas around the Broad Street Mall are to be resurfaced to improve the public realm and this is acceptable in principle, this work is to be undertaken not only on the applicant's own land but also on private Council owned land. These works on private land would need to be licensed by the Council and undertaken to adoptable standards.

The applicant has stressed that the surface finishes will consist of clay brick 200mm long x 100mm wide and depth of circa 80mm which is constructed over a ridged formation to provide a robust external surface for service vehicle access and that detailed drawings will be issued to discharge a planning condition. This is an acceptable approach.

Queens Walk is a pedestrianized area with limited vehicular access with no legal access point is provided from Oxford Road to the north. To aid access to Queens Walk for the current maintenance requirements this application should include the provision of a new vehicular access from the Oxford Road.

Trip Rates

The applicant has undertaken a trip rate analysis using TRICS (Trip Rate Information Computer System), this is the national standard system of trip generation and analysis in the UK and Ireland, and is used as an integral and essential part of the Transport Assessment process.

Table 4.3 below taken from the Transport Assessment confirms the level of vehicular movement that would be generated by the development within the peak periods.

Table 4.3 – TRICS Data – Vehicles, Flats Privately Owned

Peak Hour	Average Vehicle Trip Rates			Residential Trip Generation		
	Arrivals	Departures	Total	Arrivals	Departures	Total
AM	0.022	0.043	0.064	10	19	29
PM	0.054	0.032	0.086	24	14	39

This is not a material increase and within the daily fluctuations on the network and is a substantially inflated trip rate assessment, as such given paragraph 109 of the NPPF which states proposals should only be refused on transport grounds if the residual cumulative impacts are severe, a refusal on traffic generation grounds would be hard to defend at an appeal.

Satisfied that no assessment is required for the commercial uses as they would be linked to existing trips to the town centre area.

Given that the number of trips is not a material increase and those specified in the above table would be an overly robust assessment satisfied that no junction assessments would be required.

Car Parking for the Development

The proposal includes the provision of 22 accessible car parking spaces for the residential units which are located on the top floor of the car park adjacent to the entrances of each Tower. However no details have been submitted confirming how they will be managed in terms of allocation and avoiding abuse by the other users of the multi-storey car park. It has been stated that this would form part of the wider management strategy which would also need to be secured through the S106 as it would require consent from Reading Borough Council as operator of the Broad Street Mall Car Park.

It is noted that drawing 'Site E - Oxford Road - 2nd Floor Plan Rev P03' identifies the location of the pillars for the floors above however it is still believed that on of the pillars will obstruct the parking bays located south of the existing vehicular ramp. This is unacceptable and revised layouts will be required or tracking diagrams will need be provided to demonstrate that a vehicle can enter and exit these spaces. Given that the proposal includes a revised layout these altered parking bays must comply with current design standards.

Cycle Parking

All the cycle parking has been proposed within the basement level of the car park apart from Site C which is located at second floor level within the car park. Access to the cycle parking bicycles would be via a lift. This location would not be ideal for residents especially as no safe access can be gained directly onto the

highway network without use of the lift, as such the cycle parking layout proposed would not comply with the NPPF at para 110 which states
Within this context, applications for development should:
a) give priority first to pedestrian and cycle movements, both within the scheme and with neighbouring areas;

Notwithstanding the above objection comments on the submitted layout / provision for completeness are provided:

Site A provides a provision of 84 cycle spaces within two separate storage areas. Revised drawing 0400-P-02 Site A Basement Plan and 0404-P-03 Site A Second Floor Plan identifies 58 cycle spaces double stacked within secure basement level cycle store and 26 further cycles double stacked located on Level 2 within secure, covered store. These stores are sufficient to accommodate the number of proposed cycles in the form of an acceptable layout.

Site B provides a provision of 70 cycle parking spaces this is in excess of the required 67 to comply with the Councils parking requirements and is in the form of an acceptable layout.

Site C provides for a provision of 52 cycle spaces this is in excess of the required 49 to comply with the Councils parking requirements and is in the form of an acceptable layout.

Site E provides for a provision of 26 cycle spaces this is in excess of the required 25 to comply with the Councils parking requirements and is in the form of an acceptable layout.

It would appear that cycle storage has been provided for the commercial units, which would be located at the top of the steps on the southern side of Dusseldrof Way. However, this location would obstruct pedestrian access / movement and therefore is unacceptable. The Councils standards require a minimum provision of 1 space per 6 staff and 1 per 300m², clarity is also required that this provision meets the Councils standards.

I should also stress that the cycle store consented for adjacent hotel is located along the southern elevation of Site C, revised plans have now been submitted to identify that these will not obstruct access to the retail unit on Site C and therefore is acceptable.

Servicing

The applicant has submitted an updated plan that identifies a revised routing diagram through the basement servicing area, however the drawing submitted is only for the existing basement plan and not the proposed basement plan and therefore is not acceptable. Given that the routing is being altered to accommodate the development it must be on the proposed plans.

Block A will result in the servicing area reducing in length and results in the removal of the in and out arrangement. This will result in service vehicles reversing back toward the car park exit and would be detrimental to Highway safety, the existing in / out arrangement must be retained. It has also now been confirmed that refuse collection would take place for this block to the east of the core, however this will block the route through the basement given that parking bays are located opposite, which is also unacceptable.

Block B has been revised and is deemed acceptable in principle.

It should also be confirmed how Retail Unit 02 would be serviced given no direct access is provided from the basement.

For Block C it had previously been requested that clarity is required as to how refuse / servicing would take place for this block given that any vehicle parking directly to the frontage of this servicing area will block the route through the basement. This has now been provided for refuse in the form of the Proposed Refuse Strategy Plan 0340-P-00 but this area will obstruct the route through the basement. A servicing zone has been identified and this has been confirmed as being for HV/LV Substation maintenance only but again this will impact the route through the basement and is unacceptable.

Revised service areas along with tracking to ensure that conflict does not occur must be submitted.

The ground floor plan for Block C illustrates a service entrance to the rear of the retail unit adjacent to the proposed hotel to which the applicant has stated on revised drawing 0601-P-04-Site C Ground Floor Plan that servicing will be via the existing service corridor and goods lift within the centre as indicated on drawing. However, looking at the existing basement and ground floor masterplan drawings there would appear to be no goods lift at the location indicated and only steps. This is not an acceptable service route and will result in service vehicles attempting to service the site from Dusseldorf Way which is unacceptable. Revised drawings are therefore required illustrating a service lift for the retail unit.

Block E is acceptable in principle but the carrying distance to a refuse collection vehicle would be in excess of 15m specified within the British Standards. The applicant has stated that refuse storage must be within the residential demise and secure. Drag distance to be agreed once a privately managed waste management strategy to be agreed. I am therefore happy for this to be dealt with by way of a condition.

As I have stated previously, I am aware that cleaning / maintenance of the western elevation of the Broad Street Mall and Fountain House currently takes place along Queens Walk. Clarity has now been provided to confirm that Window cleaning / maintenance for block A via abseiling from the rooftops of towers and this is deemed acceptable.

In addition, the location of the trees would need to be positioned so as to retain a vehicular access and a turning area as well as being spaced away from the lighting columns provided along its length to reduce the introduction of dark spots. Having reviewed the latest landscape masterplan the proposal includes the provision of trees directly adjacent to the lamp columns along Queens Walk which could not be accepted. The applicant has however stated that the details of the external lighting will be developed and fully coordinated with the proposed trees positions. Detailed drawings will be prepared to discharge a planning condition and I am happy that this is an acceptable proposal.

Impact on Multi-Storey car park

It is stated that a provision of 87 spaces would be lost with a further 22 spaces allocated to the residential development resulting in a total reduction of 109 spaces from the multi-storey car park and in principle this is deemed acceptable from a planning point of view.

The introduction of the central core for Block A has resulted in revised exit barriers which are deemed acceptable in principle given that a second barrier has now been re-provided for. However, the new route would require vehicles to travel between pillars and therefore tracking diagrams should be provided to ensure that vehicles can undertake this manoeuvre.

The parking layout will be affected by the provision of the central cores and revised drawings have now been submitted identifying the wider impacts to the car park layout. I have reviewed these and I comment as follows:

Podium Level

- The submitted plans have removed the barriers to the west of Tower B but the submitted drawings still identify the columns that will be located in the centre of the aisle which would be an excessive 11m. This will result in conflict and therefore a revised car parking layout must be provided.
- It is noted that 7 spaces are to be lost around Tower B but to the north of the tower a new aisle width is created which would include the provision of a structural column in the middle. This will result in conflict and therefore is unacceptable.
- It is noted that the proposed route east of Site A has a width of 2.5m but given this route is adjacent to a structure this should be provided with an extra width of 300mm. Please note that this should not encroach on the pedestrian route which is located to the west of the parking bays and is illustrated on the submitted plans.

Second Floor Level

- The submitted plans now illustrate the location of proposed pillars / supports but this is specified as being indicative at this stage. However it is noted that no pillars / supports have been identified along the western elevation which would not only be required for the landscape podium but all of the floors above. This western elevation oversails the ramps to and from the second floor of the car park and as such the lack of information regarding this means that the Highway Authority are unable to determine what impact the development would have to the second floor of the car park. As previously stated this would need to be clarified on revised plans so any implications for car parking can be fully assessed.
- An area is provided surrounding the core of Tower B and this has been confirmed as being an 'area of limited head room due to chamfered structure of proposed tower above'. Given that car parking spaces are located underneath this structure along the western boundary of the core the actual height must be confirmed.

It has previously been asked what implications are proposed to the lighting and drainage of the car park as a result of the layout changes? Given the existing lighting and drainage is designed specifically to the car park layout and is likely to require alterations. However the applicant has stated that this can be dealt with by way of a condition, in planning terms this could be dealt with at a later date but given this will have implications for the car park operator whom would also need to sign this off this would need to be secured through a S106 Agreement.

Further issues have also been raised that should be discussed with the car park operator these have been provided to the applicant.

4.11 RBC Environmental Protection - No objection subject to conditions.

The following matters were considered:

Noise impact on development -The noise assessment concludes that standard thermal double glazing and whole house ventilation will provide suitable noise insulation for the development. Tonal noise from a single fan was noted at monitoring position S1 which may affect block E. A specific condition is therefore required to mitigate this potential impact.

Noise between residential properties - Sound insulation of any building to be required.

Noise generating development - Opening hours of the new commercial units to be conditioned to prevent noise disturbance of residents.

Noise generating development - The noise assessment has stated that the cumulative noise level from plant noise will be 10 dB below pre-existing background level but plant details have not been provided therefore a condition is recommended.

Kitchen Extraction - Cooking odour is often a significant problem in commercial kitchens and therefore the applicants must provide an assessment of the likelihood of odours based on the proposed cuisine and a statement of how the proposals will ensure that odour nuisance will be prevented. Reference must be made to the Defra Guidance on the Control of Odour and Noise from Commercial Kitchen Exhaust Systems (January 2005). This can be controlled by condition.

Air Quality - The proposed development is located within an air quality management area that we have identified with monitoring as being a pollution hot-spot (likely to breach the EU limit value for NO₂) and introduces new exposure / receptors. The submitted air quality assessment has been reviewed which shows that the air quality objective limit values are unlikely to be exceeded at the facades of the new development, therefore no further assessment, or mitigation, is required.

Air Quality - Increased emissions - Reading has declared a significant area of the borough as an Air Quality Management Area (AQMA) for the exceedance of both the hourly and annual mean objectives for nitrogen dioxide. In addition to this, recent epidemiologic studies have shown that there is no safe level for the exposure to particulate matter (PM_{2.5} and PM₁₀). The submitted air quality assessment predicts a slight worsening of air quality at sensitive receptors as a result of the development. Whilst the assessment describes this as negligible, because it is a worsening in an area already exceeding the air quality objective limit values, we would consider this of significance. This is in the context of a considerable amount of effort being undertaken to make improvements in the air quality in the town centre.

Reading Borough Council's Air Quality Policy EN15 requires that developments have regard to the need to improve air quality and reduce the effects of poor air quality through design, mitigation and where required planning obligations to be used to help improve local air quality. Where any increase in emissions is identified a mitigation scheme must be submitted. The mitigation scheme must quantify the emissions saving that it will bring about, in order to prove that the detrimental effect of the development can be offset. This matter can also be addressed by condition.

Contaminated Land -Where development is proposed, the developer is responsible for ensuring that development is safe and suitable for use for the intended purpose or can be made so by remedial action. The development lies on the site of an historic garage which has the potential to have caused contaminated land and the proposed development is a sensitive land use. Therefore, conditions are required to ensure that future occupants are not put at undue risk from contamination.

Construction and demolition phases -We have concerns about potential noise and dust associated with the construction (and demolition) of the proposed development and possible adverse impact on nearby residents (and businesses). This can be appropriately controlled by condition.

Bin storage -There is a widespread problem in Reading with rats as the rats are being encouraged by poor waste storage which provides them with a food source. Where developments involve shared bin storage areas e.g. flats and hotels there is a greater risk of rats being able to access the waste due to holes being chewed in the base of the large wheelie bins or due to occupants or passers not putting waste inside bins, or bins being overfilled. It is therefore important for the bin store to be vermin proof to prevent rats accessing the waste. This can be controlled by condition.

4.12 RBC Natural Environment Trees

No objection, subject to clarification and conditions.

The retention of the existing mature trees in Dusseldorf Way and Hosier St/St Marys Butts and in Oxford Road is positive. The landscape principles proposed appear to be in line with the Outline Development Framework for the Hexagon Quarter by, for example, the inclusion of landscaping in Queens Walk ('Queens Walk greenstreet), private amenity space for residents, seating, green areas and tree planting in the ground where feasible. The intention to reflect some of Reading's history in the landscaping, e.g. Sutton Seeds, Huntley & Palmer and the Hexagon is noted and will be a positive element. A tree survey of existing trees to be retained is required. Further detailed queries were also raised.

Further information has been submitted that is under review at this time.

4.13 RBC Ecological Consultant -

The ecological report submitted with the EIA scoping application stated that the buildings are unlikely to host roosting bats and there should be no bat related constraints to the proposals. However, the buildings will be used by nesting birds, and, as such works which could potentially affect nesting birds will need to be preceded by a nesting bird check. This should be secured via a planning condition, as below:

Condition: Works to parts of the building where birds may nest are to be preceded by a check by a suitably qualified ecologist for bird nests. If active nests are recorded works that could disturb active nests shall proceed until the nest is no longer in use.

Reason: To ensure that wildlife is not adversely affected by the proposed development in line with Policy CS36 of the core strategy and wildlife legislation.

In accordance with paragraph 175 of the NPPF, CS36 of the Core Strategy and EN12 in the emerging local plan, biodiversity enhancements should be provided within the scheme. And for a scheme such as this it would be appropriate to incorporate nesting opportunities for swifts and peregrine falcons both of which are birds of conservation concern that nest on buildings. It is recommended that

this is shown on the revised landscaping plans or secured via a planning condition. The landscaping proposals include elements of roof garden which will be of some value to wildlife however no dedicated biodiverse green roof areas are proposed which could provide significant additional enhancements for wildlife. Artificial turf which are a source of microplastic pollution and which has no benefits for wildlife or climate change adaptation and should be removed.

Revised information has been submitted to remove artificial turf and provide biodiversity green roofs in order to increase biodiversity. This information is under review at this time.

4.14 RBC Emergency Planning

No comment received

4.15 RBC Leisure

No objection subject to a section 106 agreement to secure a financial contribution of for leisure and recreation improvements. The applicant is providing limited play provision within the application site however given the configuration of this large scale development, delivering adequate open space and sports and leisure facilities on site is not possible. In these circumstances it is important to provide high quality facilities close by via a financial contribution secured via s106. It is considered that a sum of £1,500 per unit is appropriate in this location.

4.16 RBC Sustainability - No formal comment.

4.17 RBC Licensing - No objections to the plans in respect of the current and future development of this area.

4.18 Reading UK CIC - Notes that this development falls within the Central Reading Business Improvement District and generally welcomes development that adds to the regeneration work already taking place at Broad Street Mall, driving footfall and creating new investment in the western edge of the town centre. However, we would hope that every step is taken to mitigate the impact of this scale of construction work on the surrounding shops and businesses. Note the scale of the proposed development will call for an employment and skills plan, which we would expect to be confirmed through a S106 agreement.

4.19 CCTV - There is camera in the area which covers the Hexagon and Hosier street area. The building works themselves may disrupt the view for a period but no objection in principle. Further CCTV coverage should be sought in this area.

4.20 SUDS - No objection - Revised information has been submitted to demonstrate that the development does not result in any increase in impermeable area and in fact includes areas of landscaping at the amenity level which would provide a betterment over the existing situation.

4.21 Civil Aviation Authority - Confirmed that no issues are raised with any nearby airports/aerodromes. Due to the distances from the nearest aerodromes, there are not considered to be any safeguarding issues. However due to the height of the proposals advice to the developer is highlighted in relation to construction matters, cranes and lighting.

4.22 Marine Management Organisation - No objection.

The Marine Management Organisation (MMO) is a non-departmental public body responsible for the management of England's marine area on behalf of the UK government. Activities taking place below the mean high water mark may require a marine licence in accordance with the Marine and Coastal Access Act (MCAA) 2009.

4.23 **Sport England** - No objection as the site does not consist a playing field however Sport England would encourage the Council to consider the sporting needs arising from the development as well as the needs identified in its Infrastructure Delivery Plan (or similar) and direct those monies to deliver new and improved facilities for sport.

4.24 **Natural England** - No objection.

Public Consultation

4.25 February 2019: Neighbouring occupiers at 19-20 St Marys Butt and 21-23 Pavlovs Dog were notified of the application by letter. 6 site notices were also displayed within the area surrounding the application site including 1 adjacent to the entrance at the McIlroy Building. A notice was published in the press.

November 2019: On the submission of revised information all consultees were reconsulted for 21 days. 6 site notices were also displayed within the area surrounding the application site including 1 adjacent to the entrance at the McIlroy Building.

Under the EIA Regulations the submission of amended EIA information required a further notice in the press. To comply with this requirement a further notice was therefore published in the press in February 2020 (consultation period to expire 20th March 2020)

February 2020: A 7 days consult was carried in relation to additional information in relation to Townscape and Heritage matters to Historic England and the third parties who had submitted responses to the development set out below:

4.26 4 responses have been received objecting on the following grounds:

Baker Street Area Neighbourhood Association:

- The applicants EIA fails to take into account the Russell Street/Castle Hill Conversation area, despite references within the MQADB. Therefore, seeking further EIA information be provided prior to determination of the application.
- The design of the high rise towers is not bold enough, and that the detailed design of the metal work at the top of the towers will not be visible at street level and should be deleted.
- The proposed blocks are taller than those permitted within the Minster Quarter Area Development Framework Brief; and the height proposed is not justified. Block A casts shadow over Block B and Block C and the specified density is misleading.
- The development does not achieve the 30% affordable housing requirement.
- The proposals do not fully regenerate the public realm and works to all four edges of the site should be undertaken.
- Seeking substantial S106 monies to fund substantial public realm improvements including greening over the top of the Broad Street Mall or towards Decking of the IDR.

- Seek robust fire strategy
- Due to being car free query how visitors will be accommodated
- Impact on GP surgeries and school places

CAAC

Initial comments:

- The Heritage Statement does not address the requirements of Policy EN4, EN5 or EN6.
- The proposal does not demonstrate how it will make a positive contribution to the existing historic townscape.
- Fails to address the impact on Russell Street /Castle Hill Conservation Area
- The development will have an overbearing impact on the RSCH Conservation Area
- In relation to the impact on the St Marys Butts/Castle Street Conservation Area do not consider that the quality of architecture will mitigate the impact and provide a beneficial impact on the Conservation Area.
- The Significant Views with Heritage Interest has not been carried out in relation to view 1 from Mcllroy Park and view 2 View Northward on Southampton St from Whitley Street
- The three towers will provide a high density development before the rest of the area redeveloped
- Object to any development taller than Fountain House
- Object to infill of the South Court Entrance
- Concern re the acceptability of the living environment being built.
- The opening up of the Mall frontages on Queens Walk and Dusseldorf Way is an improvement.

Further comments

- Maintain objection: Seek information to protect the view to Mcllroys itself; and re-iterate request for a visualisation of this heritage view down Southampton Street.

Other third parties:

- This will change the nature of the area. if the scheme is to be allowed then there should be a compensation and the builder make a park over the dual carriageway as has been previously agreed.
- Object to the poor standard of architecture apparent not least in the insensitive obliviousness to the rights of previously existing buildings. The development does not compensate for the loss of the unique and historic appeal of the Eva's building.

Reading Borough Council as adjacent land owner:

- The Council as owner of the former civic offices site and as a lead partner in the delivery of the Minster Quarter area regeneration notes the principle of the Applicants development in seeking to deliver the aspirations of the Hosier Street area.
- A large element of the SPD and the Council's place making aspirations is the creation of a new sustainable neighbourhood including high quality public realm and the proposed development needs to acknowledge and support this wider vision both financially and in design terms and not prejudice or fetter the ability to deliver the wider comprehensive regeneration of the area.
- The proposed development will also need to address the impact of the proposed development on the multi storey car park, both in terms of legal and practical interference with the Council's rights and the continuing operation of the car park.

5.0 LEGAL AND PLANNING POLICY CONTEXT

- 5.1 Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority to have special regard to the desirability of preserving the listed building or its setting or any features of special interest which it possesses.
- 5.2 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'. However, the NPPF does not change the statutory status of the development plan as the starting point for decision making.
- 5.3 The application proposals are subject to the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 and are supported by an Environmental Statement issued pursuant to these Regulations. Much of the supporting technical information for the applications is contained in the Environmental Statement which consists of December 2018 documentation and revisions within Updated Addendum documents issued in November 2019.
- 5.4 Following the original planning application submission in 2018 an updated version of the National Planning Policy Framework (NPPF 2019) and Reading Borough Local Plan (2019) have been adopted. The November 2019 revised submission of the development proposals therefore makes reference to, and has been considered against, these documents.

National Planning Policy Framework (NPPF) (2019)

The following NPPF chapters are the most relevant (others apply to a lesser extent):

- 2. Achieving sustainable development
- 4. Decision-making
- 5. Delivering a sufficient supply of homes
- 8. Promoting healthy and safe communities
- 11. Making effective use of land
- 12. Achieving well-designed places
- 16. Conserving and enhancing the historic environment.

Planning Practice Guidance (NPPG)

The Government's Planning Portal advises that local planning authorities should take account of the following practice guidance:

- Assessment of housing and economic development needs
- Conserving and enhancing the historic environment
- Design
- Natural Environment
- Planning Obligations
- Viability
 - Build to Rent (13/9/18)

5.5 Reading Local Plan 2019

CC1: PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT

CC2: SUSTAINABLE DESIGN AND CONSTRUCTION
 CC3: ADAPTATION TO CLIMATE CHANGE
 CC4: DECENTRALISED ENERGY
 CC5: WASTE MINIMISATION AND STORAGE
 CC6: ACCESSIBILITY AND THE INTENSITY OF DEVELOPMENT
 CC7: DESIGN AND THE PUBLIC REALM
 CC8: SAFEGUARDING AMENITY
 CC9: SECURING INFRASTRUCTURE
 EN1: PROTECTION AND ENHANCEMENT OF THE HISTORIC ENVIRONMENT
 EN3: ENHANCEMENT OF CONSERVATION AREAS
 EN4: LOCALLY IMPORTANT HERITAGE ASSETS
 EN6: NEW DEVELOPMENT IN A HISTORIC CONTEXT
 EN7: LOCAL GREEN SPACE AND PUBLIC OPEN SPACE
 EN9: PROVISION OF OPEN SPACE
 EN10: ACCESS TO OPEN SPACE
 EN12: BIODIVERSITY AND THE GREEN NETWORK
 EN14: TREES, HEDGES AND WOODLAND
 EN15: AIR QUALITY
 EN16: POLLUTION AND WATER RESOURCES
 EN18: FLOODING AND DRAINAGE
 H1: PROVISION OF HOUSING
 H2: DENSITY AND MIX
 H3: AFFORDABLE HOUSING
 H4: BUILD TO RENT SCHEMES
 H5: STANDARDS FOR NEW HOUSING
 H10: PRIVATE AND COMMUNAL OUTDOOR SPACE
 TR1: ACHIEVING THE TRANSPORT STRATEGY
 TR3: ACCESS, TRAFFIC AND HIGHWAY-RELATED MATTERS
 TR4: CYCLE ROUTES AND FACILITIES
 TR5: CAR AND CYCLE PARKING AND ELECTRIC VEHICLE CHARGING
 CR1: DEFINITION OF CENTRAL READING
 CR2: DESIGN IN CENTRAL READING
 CR3: PUBLIC REALM IN CENTRAL READING
 CR5: DRINKING ESTABLISHMENTS IN CENTRAL READING
 CR6: LIVING IN CENTRAL READING
 CR7: PRIMARY FRONTAGES IN CENTRAL READING
 CR10: TALL BUILDINGS
 CR13: EAST SIDE MAJOR OPPORTUNITY AREA

5.6 Supplementary Planning Documents (SPD's)

Minster Quarter Area Development Brief (MQADB - December 2018)
 Supplementary Planning Document: Affordable Housing (July 2013)
 Supplementary Planning Document: S106 Planning Obligations (March 2014)
 Supplementary Planning Document: Parking Standards and Design (October 2011)
 Supplementary Planning Document: Employment Skills and Training (April 2013)
 Supplementary Planning Document: Sustainable Design and Construction
 (December 2019)
 Tall Buildings Strategy 2008

Tall Buildings Strategy Update Note 2018
Reading Open Space Strategy (2007)
Reading Tree Strategy (2010)
St Mary's Butts/Castle Street Conservation Area Appraisal
Russell Street / Castle Hill Conservation Area Appraisal

Other Government Guidance which is a material consideration

Historic England Good Practice Advice in Planning Note 1: Conservation Area Designation, Appraisal and Management (Historic England, 2016)
Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking (Historic England, 2015a)
Historic Environment Good Practice Advice in Planning Note 3: The Setting of Heritage Assets (Historic England, 2015b)
Historic England: Advice Note 4 "Tall Buildings" (2015).
English Heritage/CABE: "Guidance on Tall Buildings"
BRE Site Layout Planning for Daylight and Sunlight - A guide to good practice, 2nd edition (2011)
Guidelines for Landscape and Visual Impact Assessment, 3rd Edition (Landscape Institute and Institute of Environmental Management & Assessment, 2013)
Strategic Housing Market Assessment (2016)
Infrastructure Delivery Plan (2017)

6. APPRAISAL

The main issues raised by this planning application are as follows:

- Principle
- Development Density, Unit Mix and Affordable Housing
- Height, Scale and Massing, Appearance and Impact on Heritage Assets
- Public Realm, Trees and Ecology, Recreation and Leisure
- Amenity of Existing and Future Occupiers
- Transport
- Sustainability
- Flooding
- Archaeology, Phasing and Environmental Statement
- S106 and other matters

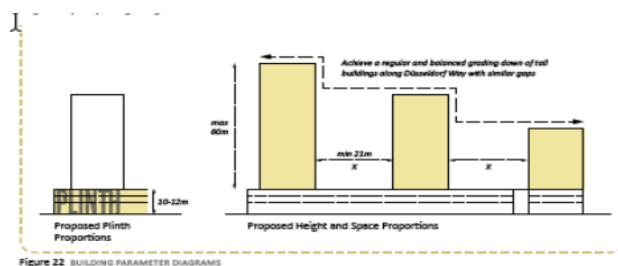
Principle

- 6.1 The NPPF 2019 (para 85) states that planning policies and decisions should define a network and hierarchy of town centres and promote their long-term vitality and viability - by allowing them to grow and diversify in a way that can respond to rapid changes in the retail and leisure industries, allows a suitable mix of uses (including housing) and reflects their distinctive characters.
- 6.2 The NPPF also encourages the effective use of land by reusing land that has been previously developed; (brownfield land para 118) and seeks that all housing applications should be considered in the context of the presumption in favour of sustainable development. The MQADF sets out that the immediate environs of the Minster Quarter Area represent one of the largest brownfield regeneration opportunities within the IDR. The accessibility of the application site, located within the defined Reading Central Area, is considered to accord with Policy CC6 (Accessibility and Intensity of Development) and the reconfigured commercial units are within an existing retail centre in the Primary shopping area (Policy

CR1). The additional provision of new housing is also in accordance within the broad objectives of Policy H1 (Provision of Housing) to assist in meeting the annual housing targets and CR6 (Living in Central Reading).

- 6.3 In terms of the form of the development Policy CR10 ‘Tall Buildings’ specifies ‘areas of potential for tall buildings’ defining tall buildings as exceeding 12 storeys of residential accommodation. The application site sits within the Western Grouping of Tall Buildings and identified as sub area CR10b. Sites A, B and C would fit the definition of tall buildings and are acceptable in principle in this location. The Western Grouping is described as a secondary cluster of tall buildings to create a distinctive grouping, to mark the area as the civic heart of Reading and a gateway for the centre. Tall buildings in this area should be subservient to the Station Area cluster; be generally lower in height than the tallest building planned in the Station Area cluster; be linked to the physical regeneration of the wider area; not intrude on the key view between Greyfriars Church and St Giles Church, and a view between the open space in the Hosier Street development and Reading Minster. The policy also sets requirements for all tall building proposals to be of excellent design and architectural quality as these buildings will be visible from a wide area.
- 6.4 The proposals are considered to be subservient to the Station Hill development as this development is formed of 3 tall buildings with comparatively small floor areas with significant separation distance between each dwelling. Each proposed tower is set at a lower height than the tallest building permitted at Station Hill (at 128 AOD), with the proposed tower elements consecutively stepping down in height from Site A to Site C. The application site also encompasses a significant area of public realm improvements and financial contributions that can be utilised for further regeneration of the wider area. The proposed development set within the footprint of the existing BSM so is not considered to intrude on the view stated above. Matters of design and architectural quality are set out sections below.
- 6.5 The site additionally forms part of the West Side Major Opportunity Area Policy CR12. The policy vision for this area seeks to create a “mixed use extension to the west of the centre containing high quality mixed use environments and fostering stronger east-west links into the central core”. Within this policy sub site CR12d ‘Broad Street Mall’ is proposed to be used for continued retail and leisure provision, improving frontages along Oxford Road and St Marys Butts, and improving frontages to Hosier Street and Queens Walk with use including residential on upper floors - development which retains the existing mall with additional development above may be appropriate where it improves the quality of existing frontages. For context, development on Hosier Street is also promoted by Policy CR12e. The mixed use development proposed retains and upgrades the existing retail frontages within the Broad Street Mall whilst incorporating residential development at upper floors.
- 6.6 The proposal is further considered in relation to the Minster Quarter Area Development Framework (The MQADF seeks to set out the “*principles for promoting the development of the area to ensure co-ordinated, high quality, comprehensive development creating a multi-purpose urban quarter for central Reading*”). The indicative Development Framework Master Plan (fig 10 within the MQADF) shows development above the Broad Street Mall with areas of private roof garden allocated for residential use (but not the entirety of the existing roof car park); and the activation of the southern façade along Dusseldorf Way/Hosier Street to provide ‘spill out’ space for restaurant /cafes.

- 6.7 In relation to the specific guidance on permissible heights within the MQADF it is noted that the adopted document is not consistent in how it refers to ‘podium’ level. Section 5.2 ‘Form, Scale and Height’ refers specifically to new towers on the BSM upper podium level. Further text under the heading ‘Proportion of Towers’ refers to 20 storeys above podium level as an indicative building height limit but also that “It is accepted that buildings above the podium on the Broad Street Mall will increase the overall building heights above this level”. Also, under the heading ‘Tower Set Back and Plinth’ in relation to development along Dusseldorf Way it is stated that the “definition of building plinth (the level up to podium) should be read as a defined retail edge”. It is also noted that Fig 22 ‘Building Parameter Diagrams’ (extract below) clearly shows new built form above the existing Broad Street Mall to a height of 60m. This would equate to approximately 20 stories (at 3m height per floor) above the existing Broad Street Mall plinth.



- 6.8 Site A has now been reduced in height to 20 storeys (64m) above the existing roof of the BSM (23 stories from lower podium level). Site B is maintained at 18 storeys above the existing roof (21 stories from lower podium level) retaining ‘step down’ in heights of proposed development blocks. The proposal is therefore now akin to the parameters set out within with the MQADF. The reduced height sits beneath the maximum height of the Station Hill proposals, in accordance with Policy CR10. The proposed height sought is also subject to other material planning considerations including detailed design and appearance, impact on the wider area, amenity and public benefits of the scheme. These are set out in the report below.
- 6.9 The MQADF (section 3) describes the importance of the creation of a new public realm for the community. The document seeks significantly enhanced existing routes including Queens Walk and Dusseldorf Way as active multi use spaces with high quality landscape treatment with each especially having its own distinct character. New street trees should be planted into the ground wherever possible but where this is not achievable planted or raised beds can be used. Sustainable material choices should also be capable of replication. The landscaping within the public realm on Queens Walk is formed of Brick pavements and street trees with planters on the western edge to also allow for a pedestrian footway and sitting out areas to the front of the retail units within the Broad Street Mall. Dusseldorf Way contains additional seating and a green wall /planter feature.
- 6.10 Therefore the proposed residential and retail uses, and public realm improvements are considered to be acceptable in principle and in accordance with the applicable elements of the specific sub-area designation. The form of development including Tall Buildings located within a designated Tall Building Cluster is also acceptable in principle subject to its impact on the wider area and other material planning considerations as set out below.

Development Density, Unit Mix and Affordable Housing Provision

- 6.11 The application proposes 422 units at a development density of 175 dwellings per hectare (site area 2.42ha). Although a high density development, it is noted that there is no prescribed local policy density upper limit for town centre sites, with Policy CR12d (BSM) stating an indicative potential of 280-420 dwellings at this site. Policy H2 (Density and Mix) outlines an indicative density of above 100 dph in town centre locations however accepts that the appropriate density may be significantly greater than this in view of the need to make best use of accessible sites. Additionally, the layout of units in 'high rise' form will inevitably result in higher density development which is considered to be acceptable in this location.
- 6.12 In terms of unit mix Policy CR6 (Living in Central Reading) seeks, as a guide, that residential developments within the town centre area should incorporate a maximum of 40% of 1 bedroom units and a minimum of 5% of 3 bedroom units. The application proposes 201 x 1 bedroom units (48%), 199 x 2 bedroom units (47%) and 22 x 3 bedroom units (5 %). The higher percentage of 1 bed units results from the revised scheme providing a more slender Block B, removal of single aspect north facing units and ensuring that the scheme delivers more dual aspect units resulting in fewer 2 bed units. Therefore although not wholly policy compliant in this respect of 1 bed units this ratio is considered to be justified, the number of 3 bed units is policy compliant and the 22 accessible units are welcomed.

Build to Rent and affordable Housing

- 6.13 The entirety of the scheme is to be constructed as Build to Rent units. This is defined in the NPPF Glossary as *“Build to Rent: Purpose built housing that is typically 100% rented out. It can form part of a wider multi-tenure development comprising either flats or houses, but should be on the same site and/or contiguous with the main development. Schemes will usually offer longer tenancy agreements of three years or more, and will typically be professionally managed stock in single ownership and management control.”*
- 6.14 The process for managing affordable private rent units is therefore set out in the section 106 agreement Heads of Terms. This seeks to detail the parameters of the lettings agreement, the rent levels, apportionment of the homes across the development, a management and service agreement, and a marketing agreement setting out how their availability is to be publicised. The national guidance addresses the question of eligibility criteria for occupants and recommends a 3 year minimum tenancy.
- 6.15 Local Plan Policy H3 and H4 both require Affordable Housing at 30% of the total provision for a 'Major' application. Additionally, the supporting text for Policy H4 (at 4.4.31) clarifies that *“The Council will expect rental levels for the affordable housing or Affordable Private Rent housing to be related to Local Housing Allowance (LHA) rate levels (including service charges) and be affordable for those identified as in need of affordable housing in the Borough. The Council will expect such housing to remain affordable in perpetuity”*.
- 6.16 The proposal as finally amended offers the entirety of Block E (42 units) as affordable units at the LHA rate which now equates to 10% of the total scheme. As this falls below the policy complaint level of provision. The applicant submitted a viability appraisal with the revised November proposals. This viability approach has been independently reviewed on behalf of the Local

Planning Authority by BPS Chartered Surveyors who consider that an offer of 9% of 446 units maximises affordable housing delivery on the site. This is primarily due to the structural constraints of building within the existing Mall and keeping the commercial building units operational during the build process. In terms of mix and location the offer of the entirety of Block E (mix as set out above) is acceptable. This is considered to be a good mix of units with the size and layout of units now in accordance with national space standards. Discussions are ongoing between the applicant and the Council's Valuation Manager on the detailed mechanism regarding affordable housing in relation to clawback position - which will be provided in the form of an update report.

Height, scale and massing, appearance and impact on Heritage Assets

- 6.17 The development proposals have been considered on two occasions by the South East Review Design panel and the scheme amended to incorporate suggested comments. The Panel was generally positive about the overall design and provided some guidance on further improvements. The Design and Access Statement Addendum details revisions in relation to the comments of the Panel.
- 6.18 Policy CC7 aims to preserve or enhance the character of the area in which a development is located. Policy CR2's (Design in the Centre) purpose is to secure appropriate relationships between buildings, spaces and frontages within the centre of Reading. Policy CR3 requires proposals to make a positive contribution towards the quality of public realm in the central area of Reading. The historic environment is also specifically sought to be protected under Policy EN1: Protection and Enhancement of the Historic Environment; EN3: Enhancement of Conservation Areas; EN4: Locally Important Heritage Assets; EN6: New Development in a Historic Context.
- 6.19 Additionally as 'Tall Buildings' within the Western Grouping Sites A, B and C are considered against the detailed criteria within Policy CR10 (specific Policy CR10B is considered above) which sets out all tall buildings should:
- be of excellent design and architectural quality advice was sought from South East Review Design Review Panel - *the proposal is considered to comply in this regard, following amendments during the course of the application.*
 - Enhance Reading's skyline, through a distinctive profile and careful design of the upper and middle sections of the building; *The proposed building has a clearly defined base within the existing Broad Street Mall replicated in Proposed Block C; with the middle and upper sections in differing materials becoming more light weight at the highest point to enhance the skyline.*
 - Contribute to a human scale street environment, through paying careful attention to the lower section or base of the building, providing rich architectural detailing and reflecting their surroundings through the definition of any upper storey setback and reinforcing the articulation of the streetscape; *The base of Block C and the proposed residential entrances have been revised to provide improved architectural detailing and the upper floors achieve a degree set back due to the deep window reveals with Site A physically set back from the site frontage*
 - Contribute to high-quality views from distance, views from middle-distance and local views; *The verified views and supporting visualisations sufficiently demonstrate compliance in this regard.*
 - Take account of the context within which they sit, including the existing urban grain, streetscape and built form and local architectural style; *the proposal is located in an area of very mixed urban grain with the proposals seeking to provide a transition from the historic to contemporary development.*

- Avoid bulky, over-dominant massing; *the towers have been reduced in height and width during the course of the application to seek to achieve a slender vertical design considered to avoid bulky, over dominant massing*
 - Preserve and, where appropriate, enhance the setting of conservation areas and listed buildings; *This is considered in detail in the 'effect on heritage assets' section below.*
 - Use high quality materials and finishes; *the proposal complies in this regard, as detailed in the proposals section.*
 - Create safe, pleasant and attractive spaces around them, and avoid detrimental impacts on the existing public realm; *Improvements to the public realm are a requirement and major benefit of the scheme.*
 - Locate any car parking or vehicular servicing within or below the development; *No additional car parking is proposed and the majority of servicing is via the existing Mall basement service area*
 - Maximise the levels of energy efficiency in order to offset the generally energy intensive nature of such buildings;
 - Mitigate any wind speed or turbulence or overshadowing effects through design and siting; *this is generally acceptable with further work being carried out at this time*
 - Ensure adequate levels of daylighting and sun lighting are able to reach buildings and spaces within the development; *This has been assessed as acceptable*
- Avoid significant negative impacts on existing residential properties and the public realm in terms of outlook, privacy, daylight, sunlight, noise, light glare and night-time lighting; *An independent review has identified some daylight and sunlight deficiencies for some occupiers of the McIlroy Building and 38 Oxford Road however officers consider on balance that the identified daylighting deficiencies are not sufficient to warrant the refusal of this application, when applying an overall critical planning balance.*

6.20 It is accepted that not every criterion is met in full but the majority are and there is a suitable policy basis for tall buildings as proposed in this location. It is also noted that the height of Block A has been reduced to 20 stories to accord with the MQADF. It is therefore considered that the amended scheme with the scale of the proposed tower at Site A reduced to in height to within 5m of the maximum anticipated by the MQADF has enabled officers to accept that on balance the proposal sufficiently meets policy requirements to be recommended for approval.

6.21 In relation to the scale and massing of the scheme, during the course of the application, as well as the each of the tall blocks being reduced in height, Site B and E have also been reduced in width, with Block D entirely removed from the scheme. The form of the towers incorporates a shoulder element seeking to create a slender vertical form and reduce the overall visual impact of the blocks, particularly within the skyline. The base of Blocks A and B have also been lowered in relation to the existing mall to better integrate with the existing structure.

6.22 In relation to visual appearance and detailed design and materiality of the scheme it is noted this can be a highly subjective issue. The design, in particular the elevational treatment, has evolved in the context of the surrounding Conservation Areas and existing buildings within the site. As required by policy, Blocks A, B and C have a defined 'bottom', 'middle' and 'top'. The bottom level is formed of the current Broad Street Mall retail frontages including the existing concrete frieze. The proposed base of Block C infills the existing recessed South Court and the proportions of the bottom floor have been amended to replicate

the existing mall, with glazing at ground floor; the introduction of vertical bays to break up the façade; and horizontal framing to align within the existing concrete structure. The residential entrances to be created for Block A and B are also the full height within the bottom of the building. The proposal also includes a further amenity deck which is considered to add interest and variety to the building.

- 6.23 The design of the upper floors varies between the blocks due to the differing construction methods, however, Blocks A, B and C have been designed as a family of buildings. The middle section of each block contains alternating window/cladding patterns which becomes less uniform as the buildings step away from the traditional form of the St Marys Butts Conservation Area. The façade details have also been very carefully considered with each block containing recessed windows with deep reveals to provide additional visual interest and highlight the changing grid pattern with the middle section of the building. The proposals are visible on all four elevations so this design is replicated on the main element of each tower.
- 6.24 The concept of the top section of the blocks has evolved throughout the consideration of the application. The upper floors of each block have simplified windows reveals and will be clad in a differing material to the lower floors consisting of a bespoke laser cut metal panel inspired by the appearance of the of the existing concrete frieze at the bottom level. The upper floor of Blocks A and B also contain inset balconies that provide views through the external concrete of the building. This is considered to be an innovative design response and is considered to add additional value to the overall design quality. To ensure the design quality in this instance it is considered essential for all external materials to be secured via condition, including the provision of sample construction panel details being erected on site prior to approval to guarantee the design quality in this sensitive location.
- 6.25 Block E is not classified as a tall building and is set in the context of existing development orientated towards the Oxford Road. This block therefore deliberately differs in form to the other blocks and has been amended, during the application, to remove the former ‘hammer head’ design. The proposed residential access will be within the north facing shopping parade at ground floor. The proposed new build floors are geometric in form with the north elevation lower to meet the existing mall roof, and the rear cantilevered over the existing car park. This is considered to be an appropriate design solution in this location. There is a simplicity to the alternating terracotta cladding and aluminium framed glazing which is appropriate in this location. This block also houses a roof top garden that contains pergolas, these may be visible in some views but are considered to add interest to the building.
- 6.26 It is considered that the proposed design of the buildings achieves the required high quality approach to lift the appearance of the existing mall. The proposals incorporate good quality materials (detailed samples of which are to be secured by way of condition) and successfully provide a cohesive form of development within the family of buildings whilst transitioning between the contemporary and historic character of the site and its surroundings.

Heritage Assets / Views

- 6.27 As noted throughout this report the application site is sensitively located in relation to two Conservation Areas and surrounding listed buildings including the Grade 1 Listed Reading Minster. The application is supported by a Heritage, Townscape and Visual Impact Assessment (HTVIA) that related to the original

submission, an Amended Assessment dated Nov 2019 relation the revised scheme; and a further Heritage and Townscape Response dated January 2020. This documentation includes 23 different views of the development as Blocks A, B and C will be visible in short, medium and longer range views from the surrounding area. Long range views provided include the viewpoint from Balmore Park (referenced as being of importance within the Council's Tall Buildings Strategy (2008)) and the view from Kings Meadow looking south west. These have been reviewed by officers and it has been found that the buildings would not negatively impact upon distant views.

6.28 The comments of objectors in relation to the submitted HTVIA in relation to the Russell Street/ Castel Hill Conservation area; and views listed at Policy EN5 'Protection of Significant Views with Heritage Interest; have been fully considered by officers. Within the November 2019 Townscape, Built Heritage and Visual Impact Assessment two views (viewpoints 03 and 09), located on Oxford Road looking east towards the proposed development along the northern boundary of the conservation area have been included. A further verified view from Baker Street looking east out of the Russell Street / Castle Hill conservation area towards the application site was also submitted in January 2020. It is noted that this is the only outward looking view indicated on the Character Area Appraisal map within the Russell Street/ Castle Hill Conservation Area Character Appraisal. It is also noted that Historic England do not raise concerns in relation to the Russell Street/ Castle Hill Conservation Area.

6.29 Policy EN5 lists views of acknowledged historical significance including 1. View from McIlroy Park towards Chazey Barn Farm, the Thames Meadow and the Chiltern's escarpment; and 2. View Northwards down Southampton Street from Whitley Street towards St Giles Church, St Marys Church and Greyfriars Church. It is confirmed that the proposals will not appear in View 1, and in relation to View 2 this is addressed by View 17 in the November 2019 Heritage Assessment. Proposed Blocks A, B and C are visible in this view but due their siting within the existing Mall footprint retain this view toward the churches. It is therefore considered that the scope of the submitted information is adequate to assess the impact of the development on Heritage Assets.

The applicant considers that the current Broad Street Mall does not provide a positive setting to the Conservation Area or the listed buildings so the introduction of their proposed high-quality architecture as a back drop should be regarded as an improvement. The applicant concluded the significance of the impact to be of 'beneficial' effect. However, taking into account the independent assessment from Historic England and the Council's Historic Building consultant officers consider that that the scheme would be accurately described as causing 'less than substantial harm' to heritage assets and should be assessed against relevant policy on this basis.

6.30 Historic England advised that The Planning (Listed Buildings and Conservation Areas) Act sets out at Section 66 that special regard should be paid to the desirability of preserving a listed building or its setting or any features of special architectural or historic interest which it possesses. Section 72 of the same Act sets out that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of conservation areas. The National Planning Policy Framework requires at 190 that LPAs should take into account the significance of any heritage assets that may be affected by proposals so as to avoid or minimise any conflict between conservation of that asset and the proposal. Great weight should be given to the conservation of heritage assets, regardless of whether harm to significance would be substantial or less than this,

as set out at paragraph 193. Clear and convincing justification for any harm must be set out (paragraph 194) and where harm is less than substantial it should be weighed against the public benefits of the scheme (paragraph 196). Finally, paragraph 200 explains that LPAs should look for opportunities for new development within conservation area and within the setting of listed buildings that enhance or better reveal their significance. Specific local plan policies EN1,EN3,EN4 andEN5 are also relevant.

- 6.31 Achieving significant improvements for this area was the intention of the Minster Quarter Area Development Framework. Officers consider that the proposal will hugely improve the visual appearance of this area of the town centre where any harm to the heritage assets is outweighed by the public benefits of the proposal as described in this appraisal. In particular with substantial physical improvements to the public realm around Broad Street Mall and the Minster Quarter which can include the area directly adjacent to Grade I Reading Minster. The proposal also provides a good housing mix including 3 bed units and accessible units. The development has good energy credentials and will increase soft landscaping and the biodiversity of this town centre site. By regenerating the tired BSM site the proposal has the potential to be a catalyst for future development of the wider Minster Quarter Area. It is therefore considered, taking into account National legislation and Local Plan policies in relation to Heritage Assets, that the public benefits of the scheme, including substantial financial contributions secured by S106 in addition to the required CIL monies, outweigh the less than substantial harm to heritage assets.

Public Realm, Trees, Landscaping and Ecology, Recreation and Leisure

Public Realm

- 6.32 Policy CR3 requires proposals to make a positive contribution towards the quality of the public realm in the central area of Reading. Intrinsicly linked to design matters are the open space/public realm and landscaping elements of the proposals that form part of the overall site. At street level the interconnection between the public realm within the application site and the remainder of the Framework Area, adjacent retail frontages and Conservation Areas beyond, is a fundamental consideration for officers.
- 6.33 Within the MQADF the 'Public Realm Parameters' set out that areas of open space and interconnecting public realm are to be well designed, functional, adaptable and capable of effective maintenance. These spaces must also be designed to ensure a vibrant, lively and thriving public realm. Also sought are enhancements to existing routes including Queens Walk and Dusseldorf Way to contain active multi uses spaces with high quality landscape. The application proposes resurfacing of both Queens Walk and Dusseldorf Way with brick paviours, however this material can be subject to condition if an alternative material is considered appropriate within the wider Minster Quarter Development Area. Landscaping in the form of trees, planters and hanging vegetation to enhance the appearance of the area is proposed that allows for pedestrian movement through the site whilst maintaining access for emergency vehicles. Additional active frontages in these areas are also proposed with new glazed shop fronts and on street seating to enliven these areas. The works to the public realm are therefore considered a significant positive enhancement of the scheme.
- 6.34 No specific works are shown to St Marys Butts and Oxford Road at this time. These areas are subject to additional constraints due to vehicular activity and public transport use in this area. The potential to alter the existing change in

gradient of the area adjacent to Block C, where it adjoins Hosier Street, is also sought to be retained within the proposed development. Additionally In relation to the wider public realm with the MQDBF area, including the setting of Reading Minster a further S106 contribution of £1,092,000 has been secured. This to ensure that further necessary works to the public realm can be carried out to mitigate the impact of increase residents which is considered to be a further additional benefit of the proposal.

- 6.35 The upper level amenity deck for proposed residents, and ‘greened’ elements of the car park are also visible and provide a positive contribution to the public realm for future residents and users of the car park at this level. It is noted that there is a requirement at present to retrain this car park and ensure manoeuvrability within it.

Trees, Landscaping and Ecology

- 6.36 Policy EN14 seeks new planting within the site to increase the level of tree coverage within the Borough an to contribute to biodiversity. In terms of the proposed soft landscaping works proposals have been amended in line with comments from our tree officer in particular in relation to appropriate tree species which are proposed within the site. Further comments and conditions in relation to approval of final planting specification details and maintenance details to be provided as an update report.

- 6.37 Policy EN12 seeks that development should provide for a net gain in biodiversity wherever possible. The existing site is of limited due to the existing built form and use of the building. Therefore to secure biodiversity enhancements further information has been submitted in the form of green roofs and mitigation/enhancement measures are being reviewed by the Council’s Ecological Consultant. This will be provided in the form of an update report.

Leisure and Recreation

- 6.38 Policy EN9 (Provision of open space) requires all new development to provide for the open space needs of the occupiers through either on or off-site provision, or through contributions towards the provision or improvement of leisure or recreational facilities. In areas with relatively poor access to open space facilities, Policy EN10 (Access to Open Space) stipulates that new development should make provision for, or contribute to, improvements to access green space. As set out above private amenity space has been provided in the form of upper podium level roof gardens, roof terraces and some balconies, which is welcomed. However due to the constrained nature of the site and number of units proposed the policy compliant levels of on-site play space cannot be accommodated. To mitigate this shortfall of provision against the Policy requirement (Policy EN9) a financial contribution of £633,000 is to be secured by way of a section 106 legal agreement. RBC leisure have identified that this would be put towards maintenance and improvement of existing play facilities / open space for example at Victoria Recreation Ground (to the rear of Great Knollys Street) which is approximately 700m away from the development site, and town centre leisure uses to cater for increased demand for these facilities generated by occupiers of the proposed development.

Amenity of Existing Occupiers

- 6.39 Policy CC8 (Safeguarding Amenity) and CR6 (Living in Central Reading) seeks to protect the amenity of existing surrounding occupiers. Policy EN16 (Pollution and Water Resources) seeks to protect surrounding occupiers from the impact of

pollution. Policy CR10 (Tall Buildings) also seeks that that new development ensures adequate levels of daylight and sunlight are able to reach buildings and spaces within the development and avoid significant negative impacts on existing residential properties and the public realm in terms of outlook, privacy, daylight, sunlight, noise, light glare and night-time lighting.

- 6.40 The proposal site is separated from the majority of existing nearby properties by vehicular roads or Queens Walk which is primarily used by pedestrians. The closest residential relationship adjacent to the site is the McIlroy Building and Site E. Site E will be taller than the McIlroy Building with new upper floor windows orientated toward its frontage however there is a separation distance of approximately 18 m which is not considered to cause undue overlooking or overbearing in this town center site. In relation to Sites A, B and C although the height of these units are noted these are considered to be set a sufficient distance from residential units not to cause undue overlooking also taking into account the proposed roof top terraces. Matters of daylight and sunlight are assessed in detail below.
- 6.41 Sunlight and daylight: In terms of daylight and sunlight matters, the submitted information has been reviewed by independent consultants who agree the methodology and criteria for impact. The submitted daylight and sunlight assessment (within the Environmental Statement) identifies 12 relevant residential neighbouring buildings around the site that are likely to experience a material reduction in daylight and sunlight from the proposed development. St Mary's Episcopal Chapel, to the south, and the Penta hotel contains windows but these are not residential uses and therefore are not considered to require further detailed assessment.
- 6.42 **Daylight Analysis:** 9 of the 12 residential properties considered would meet the BRE criteria for VSC (Vertical Sky Component) and NSL (No Sky Line) resulting in a negligible effect. Therefore 3 properties would experience noticeable effects: McIlroys Building; 59-60 St Mary's Butts and 15 Queens Walk (Queens Court Student Accommodation).
- 6.43 McIlroys Building: The results demonstrate that 42% of the 197 windows serving 67 rooms assessed will not meet the BRE standard for reduction in VSC. However, paragraph 9.99 of the Submitted ES chapter states that of the 83 windows that would experience this minor to moderate adverse alteration in VSC (a 20%-39% reduction) 79 retain a VSC between 19% - 26.9%, with the remaining 4 windows retaining a VSC between 14-15%. Since the Whitechapel Estate appeal (Tower Hamlets London Borough Council, Ref: APP/E5900/W/17/3171437) more emphasis has been placed on retained daylight levels, rather than reductions from baseline figures. In the Whitechapel appeal, the Inspector noted that evidence submitted by the applicant showed that *"a proportion of residual VSC values in the mid-teens have been found acceptable in major developments across London [which] echoes the Mayor's endorsement in the pre-SPG decision at Monmouth House, Islington that VSC values in the midteens are acceptable in an inner urban environment."* A noticeable adverse effect might therefore be considered acceptable if, in an urban area like London, a proportion of retained daylight levels would be in the midteens for VSC, with a smaller proportion in the bands below 15% VSC. It is noted Reading Borough is not London but this town centre application site can be classed as an urban location. The BRE guide specifies in Appendix F.F1 that alternative values may be used 'based on the special requirements of the proposed development or its location' and therefore this approach has been considered by officers and is considered acceptable on this basis.

- 6.44 The NSL results demonstrate that 2 (3%) of the 67 rooms assessed will not meet the BRE standard. These rooms experience reductions of 21% and 22% respectively which is considered to be a minor adverse impact and therefore considered acceptable by officers.
- a. The submitted assessment also considers the potential cumulative impacts caused by the recently consented hotel development on Hosier Street (application number: 182054). The results demonstrate that 1 additional window within McIlroys Building will experience a minor adverse impact in VSC terms. The NSL and sunlight results do not alter.
- 6.45 The impact on 59-60 St Marys Butts is considered to be negligible to minor adverse.
- 6.46 In relation to 15 Queens Walk The results demonstrate that 35 (14%) of the 250 windows assessed will not meet the BRE standard for reduction in VSC. Of these, 33 will experience a minor adverse impact and 2 will experience a major adverse effect. As set above if retained daylight to these rooms is considered this illustrates VSC figures between 15-19% to 19 windows and NSL values of 75% or above to a further 11 rooms. The NSL results demonstrate that all 186 rooms assessed will meet the BRE standard. It is therefore considered that the impact on daylight to this building to be minor adverse with 2 isolated instances of major adverse which is acceptable due to the nature of this building as student accommodation.
- 6.47 **Sunlight Analysis:** 9 of the 12 properties identified above would qualify for sunlight analysis. 5 would meet the BRE criteria for APSH (Annual Probable Sunlight Hours) and experience a negligible effect. Therefore, the following 4 properties would experience noticeable effects: 38 Oxford Road, McIlroys Building, 61-62 St Mary's Butts and 15 Queens Walk (Queens Court).
- 6.48 38 Oxford Road: The results demonstrate that 8 (9%) of the 92 windows assessed will not meet the BRE standard for APSH. Of these, 5 will experience a minor adverse impact and 3 will experience a moderate adverse impact. 25 (27%) of the windows assessed will not meet the criteria for winter sun. Of these, 4 will experience a moderate adverse impact and 21 will experience a major adverse impact. However, it is important to note, that the low levels of existing winter sun lead to magnified percentage reductions when the actual alteration in sunlight is not large. Of the windows experiencing adverse impacts, some are located within kitchens and bedrooms which have a lower requirement for sunlight. In addition, some windows give light to rooms which benefit from multiple windows. Therefore, it is considered that the impact on sunlight to this building to be moderate adverse.
- 6.49 McIlroys Building: The results demonstrate that 19 (10%) of the 197 windows assessed will not meet the BRE standard for APSH. Of these, 7 will experience a minor adverse impact, 6 will experience a moderate adverse impact and 6 will experience a major adverse impact. 11 (6%) of the windows assessed will not meet the criteria for winter sun. However overall, we consider the impact on sunlight to this building to be moderate adverse.
- 6.50 61-62 St Mary's Butts: The results demonstrate that 2 (20%) of the 10 windows assessed will not meet the BRE standard for winter sun and will experience a minor adverse impact. The percentage reduction is magnified by low levels of

existing winter sun with both windows experiencing a change of 1% from the existing condition. All of the windows will meet the criteria for APSH. We consider the impact on sunlight to this building to be negligible to minor adverse.

- 6.51 15 Queens Walk (Queens Court): The results demonstrate that 10 (10%) of the 105 windows assessed will not meet the BRE standard for APSH. Of these, 5 will experience a minor adverse impact and 5 will experience a major adverse impact. All of the windows will meet the criteria for winter sun. Of the windows experiencing adverse impacts, some are located within bedrooms which have a lower requirement for sunlight. In addition, some windows give light to rooms which benefit from multiple windows. We consider the impact on sunlight to this building to be minor adverse but considered to be acceptable due to the student occupation of this building.
- 6.52 Overshadowing: A shadow analysis has been undertaken for the 6 off site amenity spaces that have been identified around the development. The study has been carried out with the consented hotel development on Hosier Street (application number: 182054) in place as a 'worst case scenario' however the hotel itself does not cause any additional impact to the amenity areas highlighted. The results demonstrate that all these areas (areas 1-6) will meet the BRE criteria for overshadowing and will achieve the recommended 2 hours of sunlight to at least 50% of their area.

Amenity of Future Occupiers

- 6.53 Policies H5 (Standards for New Housing) seeks that all new build housing is built to high standards. In particular new housing should adhere to national prescribed space standards, water efficiency standards above building regulations, zero carbon homes standards (for major schemes) provide at least 5% of dwellings as wheelchair user units. Policy EN16 (Pollution and Water Resources) seeks to protect future occupiers from the impacts of pollution. Policy H10 (Private and Communal Outdoor Space) seeks that residential developments are provided with adequate private or communal outdoor amenity space.
- 6.54 The internal layout of the proposed residential units is considered to create a high standard of living accommodation. The scheme, following comments from Design South East has been amended to improve the quality of accommodation by the deletion of all north facing single aspect units and the entirety of the Block D. In relation to the nationally prescribed space standards all of the proposed 1 bed units within Site A, B and C exceed the minimum threshold (39 sq m); the two bed units which do not meet the standard of 61sq m are well laid out with suitable outlook and natural ventilation; and the three bed units are generous in size with a private terrace or balcony. The internal layout of Block E has been amended to reduce the number of units to ensure all accommodation meets the national space standards and the 3 bed units provide the 3bed 5person floor area of 86 sqm. The scheme is also considered in relation to the Build to Rent nature of the units and the high density town center nature of the site. The supporting text of Policy H5 (4.4.39) sets out that there are existing well regarded development schemes in Central Reading that do not meet these space standards therefore the proposals are considered to be acceptable.
- 6.55 Additionally, all of the residential units have been designed to meet Part M requirements with 22 of the residential units designated as fully accessible. Street level access is provided for all sites along with compliant passenger lifts. Level access to the proposed Amenity Deck between Block A, B and C will also be

provided. The proposed amenity deck and roof garden to block E are considered to provide innovative, amenity space consisting of a mix of elements to enable the space to meet the requirements of differing types of residents. The building will create degrees of overshadowing to the amenity deck at differing times of year however this is symptomatic of tall building in an urban context and is considered to be acceptable. All units are linked to suitable supporting facilities (waste storage / cycle storage) in the reconfigured basement area. The proposal is therefore considered to be acceptable in this respect.

- 6.56 In relation to overlooking between the proposed units within the application site, there is a minimum separation distance of 23m between the east and west elevations of Site A-B and Site B-C. There is also a separation distance in excess of 45m between Site C and Site E. Factoring in the relative height of the proposed building this is considered to be acceptable to prevent undue overlooking between the proposed units. In relation to overlooking from existing buildings there is a separation distance of 18m from Fountain House which is in office use to site A (and 80m to Site E) which is considered to be acceptable. In relation to existing buildings to the west of the site (15 Queens Walk and the Penta hotel) and east (St Mary's Butts) due to the separation distance, relative orientation and use are not considered to cause overlooking to Site A.
- 6.57 In relation to day light and sunlight assessments the applicant has undertaken a VSC façade analysis to test for the potential of daylight to the outside face of the proposed Blocks; and APSH façade analysis has also be carried out to assess the potential of sunlight to those elevations facing within 90° of due south. A full ADF and APSH assessment could have been undertaken as this is a fully detailed planning application however the results do suggest that the proposed units will receive good levels of daylight and sunlight and we would expect the majority of units to meet the recommended levels therefore further detail surveys have not been required. As VSC figure in excess of 20/25%, with large areas appearing to receive up to the maximum 40%. This implies that the proposed units will generally receive good levels of daylight. Drawing numbers BRE/436 - BRE/441 indicate that the majority of the proposed south facing elevations will receive at least the minimum recommended 25% APSH and 5% winter sun. A small area on the lower floors of Block C see lower levels due to being located opposite the Hosier Street proposed hotel development, but the assessment implies that the proposed units will generally receive good levels of sunlight. Taking these factors into account the day/sunlight provision in overall terms for future occupiers is considered adequate for the scheme as a whole.
- 6.58 In respect of air quality, noise and disturbance matters; the noise assessment concludes that standard thermal double glazing and whole house ventilation will provide suitable noise insulation for the development which is considered acceptable. Noise from a single existing fan in relation to Block E is noted and can be dealt with by condition as it is within the application site and applicant's ownership. Therefore, officers are content with the information submitted, subject to a pre-commencement construction method statement, including noise and dust measures and applicable to future occupiers owing to the phased nature of the scheme. A number of noise, contaminated land / land gas (reiterated by the Environment Agency) hours of works and no bonfire based compliance conditions are also recommended. Environmental Protection Officers also advise that the assessment submitted in respect of air quality demonstrates that the proposed ventilation scheme would ensure suitable air quality standards within the units. Implementation of both noise and air quality measures detailed are recommended to be secured by conditions.

- 6.59 The impact of the upper podium level car park has also been carefully considered by officers. The proposed residential units and amenity space is suspended above the existing car park with the majority of views from residential units across the proposed amenity space or outward looking from the site. The application proposes green elements and planting with the car park to be retained which is considered to break up and soften its visual impact. It is also characteristic of residential development to have parking in proximity to dwellings which is not considered to result in undue noise and disturbance in this town center location. It is also noted that the proposed layouts propose podium courtyards within each three blocks, which potentially could result in noise and disturbance to future occupiers from activities taking place however this is restricted to use by residents only and is beneficial to the scheme.
- 6.60 In terms of the proximity of future occupiers to non-residential uses, conditions will limit some of the uses proposed (e.g.A4 uses to be ancillary), hours use a delivery/service management plan, the non-provision of plant/kitchen extraction until suitable assessments have been undertaken. With these conditions secured, noise and disturbance will be minimized as far as is reasonable for future occupiers.
- 6.61 Assessment of microclimate / wind impacts of the proposed development on future occupiers (and also nearby occupiers / future users of the area), was submitted by the applicant to assess thoroughfare locations (car park, Queens Walk, Hosier Street and Dusseldorf Way) building entrances and amenity areas such as the amenity deck and terraced in the residential towers.
- 6.62 This information has been subject to independent review by NOVA on behalf of the Local Planning Authority and further clarification has been submitted by the applicant. Following a review of the responses provided, NOVA have confirmed that the conclusions presented in the ES are reasonable and robust within the boundaries of best practice for wind microclimate assessments within the UK and relevant components of the corresponding policies adopted by Reading Borough Council. It should be noted that soft landscaping has been assessed within the wind tunnel and the final landscaping will be secured through a planning condition; and that the applicant has identified that all adverse effects will require mitigation, which is deemed appropriate; and NOVA would reiterate that whilst the assessment of recreational spaces in summer only is common practice for outdoor seating areas, general amenity would more commonly be assessed across spring & autumn as well. Notwithstanding the above, the applicant is current undertaking further wind tunnel testing to address the outstanding issues, including the assessment of the private balconies, and in particular the eight locations where strong winds persist. NOVA would support the recommendation that further wind tunnel testing is conducted to demonstrate that safe and amenable wind conditions can be secured across the site.
- 6.63 With regard to crime and safety issues the proposals have been reviewed by the Thames Valley Police Crime Prevention Disorder Advisor who made a number of recommendations which have been taken on board by the applicant in the proposed plans. This includes a condition in relation to access to the residential units and also approval of a security strategy to cover issues such as CCTV.
- 6.64 Although fire safety is not a material planning consideration, the application includes details of the fire strategy for the development. This sets out that the proposals would accord with the fire safety requirements (Part B) of the Building

Regulations 2010. Along with other measures, due to the height of the Tall buildings and depth of block E sprinklers will be installed.

- 6.65 Future occupiers of the indicative new development to the south of the application site within the MQADF, subject to their detailed design, are not considered to be prejudiced by the proposed development. In overall terms it is considered that the proposals would provide a high standard of amenity for future occupiers.

Transport

- 6.66 Policies TR3 (Access, Traffic and Highway related matters), TR1 (Achieving the Transport Strategy) and TR5 (Car and Cycle Parking and Electric Vehicle Charging) seek to address access, traffic, highway and parking relates matters relating to development
- 6.67 Pedestrian Access to Residential and Commercial uses:
The residential accesses for Sites A, B, C and E are deemed acceptable. The application scheme includes improvements to the pedestrian route between Hosier Street and Dusseldorf Way however clarification is sought in relation to proposed scheme to confirm that there is no negative impact the surrounding footway improvements/ future regrading secured through the adjacent planning permission. Further information is sought on this matter.
- 6.68 The proposed units along Dusseldorf Way include the provision of seating to the frontage and this has been deemed acceptable and is consistent with planning consent 190099. The resurfacing works are considered to be acceptable subject to licensed being undertaken to adoptable standards. The applicant has however stated that the details of the external lighting will be developed and fully coordinated with the proposed trees positions. Detailed drawings will be prepared to discharge a planning condition and officers are satisfied that this is an acceptable control. Queens Walk is a pedestrianized area with limited vehicular access with no legal access point is provided from Oxford Road to the north. To aid access to Queens Walk for the current maintenance requirements this application should include the provision of a new vehicular access from the Oxford Road. The provision of this access is feasible and can be required by condition.
- 6.69 Trip Rates: An appropriate TRICS assessment has been undertaken and given that the number of trips is not a material increase no junction assessments would be required and there is no objection on this basis.
- 6.70 Car Parking for the Development: The proposal includes the provision of 22 accessible car parking spaces for the residential units which are located on the top floor of the car park adjacent to the entrances of each Tower. However, no details have been submitted confirming how they will be managed in terms of allocation and avoiding abuse by the other users of the multi-storey car park. Therefore, a management plan would be required and this would also need to be secured through the S106 (as it would require consent from Reading Borough Council as operator of the Broad Street Mall Car Park). Visitor car parking is available within the existing public car park.
- 6.71 It is noted that drawing 'Site E - Oxford Road - 2nd Floor Plan Rev P03' identifies the location of the pillars for the floors above however it is still believed that one of the pillars will obstruct the parking bays located south of the existing

vehicular ramp. This is unacceptable and revised layouts will be required or tracking diagrams will need be provided to demonstrate that a vehicle can enter and exit these spaces. Given that the proposal includes a revised layout these altered parking bays must comply with current design standards. **Further information sought on this matter.**

Cycle Parking: All the cycle parking has been proposed within the basement level of the car park apart from Site C which is located at second floor level within the car park. The scheme has been changed so that to access the cycle parking bicycles would have to be transported up or down the lift. Transport officers raise a concern that this would not be ideal for residents and would not comply the NPPF para 110 that asks that applications for development should:

a) give priority first to pedestrian and cycle movements, both within the scheme and with neighbouring areas;

The applicant has stated that the loss of retail space at ground level to accommodate cycle parking is unviable. Retaining commercial use at ground level also helps maintain an active frontage along Dusseldorf Way and Queen's Walk in particular, which are the least active currently. It is considered on balance therefore that the proposed location of the cycle store and access to it for residents is reasonable within the context of the physical and operational constraints of the existing mall. The specification of these cycle parking facilities can be secured by condition to be of a high standard to encourage their use and a condition is needed to manage the provision of cycle parking facilities for the commercial uses.

Servicing: Further technical information is sought to clarify servicing and refuse collection within the basement area and in relation to proposed retail unit 02 and block C to ensure a route through the basement is acceptable.

Impact on Multi-Storey car park: It is now stated that 87 spaces would be lost with a further 22 spaces allocated to the residential development resulting in a total reduction of 109 spaces from the multi-storey car park and in principle this is deemed acceptable from a planning point of view. The parking layout will be affected by the provision of the central cores and revised drawings have now been submitted identifying the wider impacts to the car park layout. These have been reviewed and further detailed information has been sought in order that any implications for car parking can be fully assessed. However the further concerns raised relating to future car park management are matters that need to be resolved between the developer and the car park manager not being a significant material planning consideration.

- 6.72 The proposals are considered to be acceptable in principal terms subject to further technical clarification prior to determination and subsequent recommended conditions and section 106 heads of terms.

Sustainability

- 6.73 Policies H5 (Standards for New Housing) seeks that all new building housing is built to high standards. In particular new housing should adhered to national prescribed space standards, water efficiency standards above building regulations, zero carbon homes standards (for major schemes) provide at least 5% of dwellings as wheelchair user units. Policy CC2 (Sustainable Design and Construction) and CC3 (Adaption to Climate Change) seeks that proposals should incorporate measures which take account of climate change. Policy CC4 (Decentralised Energy) seeks that developments of more than 20 dwellings should

consider the inclusion of combined heat and power plant (CHP) or other form of decentralised energy provision.

- 6.74 The adopted SPD (par 3.34) sets out applicants should use the current Building Regulations methodology for estimating energy performance against Part L 2013 requirements as set out in Policy H5 but with the outputs manually converted for the SAP 10 emission factors. The revised scheme was reassessed on this policy basis and submitted report consider information submitted demonstrates that the proposals would achieve zero carbon homes standards in achieving a 35% improvement over 2013 Building Regulations Standards using carbon factors of SAP 10; and additionally providing a carbon off-setting contribution equivalent to £1, 800 per tonne of carbon. The building regulations improvement would be secured via use of highly efficient building materials as well as a Waste Water Heat Recovery System. The applicant has agreed to the principle of providing the carbon off-setting contribution within the S106.
- 6.75 The supporting information includes a revised Sustainability Statement, (including BREEAM Pre- Assessment); Energy Strategy in relation to the new residential units; and a BREEAM New Construction Pre-Assessment Report for the new build retail element of the scheme (ground level of Block C). This area is less than 1,000 sq m and is therefore required to meet a BREEAM rating of 'Very Good'. These reports follow the most recent policies and Sustainable Design and Construction SPD guidance applying the recognised energy hierarchy of 'be lean', 'be clean' and 'be green'. This has been achieved with the design of the building incorporating high standards of insulation to minimise energy use and using low carbon technologies.
- 6.76 In terms of decentralised energy the applicant has set out that the proposed building services strategy utilises an all electric approach ie for heating and hot water. They have specified therefore that the use of Combined Heat and Power is not feasible as there is no thermal demand; and the use of gas CHP is not considered to offer any carbon savings. The use of decentralised energy is therefore not considered to be suitable, feasible or viable for this form of energy provision.
- 6.77 On balance, with the carbon offset contribution, officers are satisfied that the proposals demonstrate a good standard of sustainability and in particular adhering to zero carbon homes standards is considered to be a positive benefit of the scheme.

Flooding

- 6.78 Local Plan Policy EN18 (Flooding and Sustainable Drainage Systems) notes that development will be directed to areas at lowest risk of flooding in the first instance, and it is confirmed the site is in an area designated as Flood Zone 1 classified as 'low' risk of surface water flooding. However due to the size of the application site the proposal is accompanied by a Flood Risk Assessment in accordance with policy. A sustainable drainage strategy (SuDs) has also been submitted as part of the application. This has been reviewed by the Local Flood Authority and as amended is considered acceptable subject to conditions to secure a timetable for its implementation and details of management and maintenance of the scheme and it implementation in accordance with the approved details. The Environment Agency raises no objection to the proposed development but has required conditions in relation to contaminated land and details of any piling.

Archaeology, Phasing and Environmental Statement

- 6.79 Berkshire Archaeology is content with the information within the Environmental Statement and recommends a pre-commencement condition. This will require a programme of archaeological work to be secured and implemented on-site, in accordance with the approval of a written scheme of archaeological investigation.
- 6.80 The submitted phasing plan identifies that the retail element of the mall is to remain open and the development constructed in two phases. Phase 1 as Blocks A, B and C and Phase 2 as block E. This will be secured via condition mindful of the provision of affordable housing in Blocks E and can also be referenced in conditions, in relation to the timing of the submission of details.
- 6.81 The application is accompanied by an Environmental Statement which has been assessed as part of this report. The Environmental Statement is considered to be sufficiently comprehensive to allow assessment of the likely impact of the development on the site and its surrounds. In addition to those matters already assessed in this report socio-economic effects have also been assessed by the applicant. Overall the proposal is considered to have a beneficial effect locally on the population and the labour market. The additional demand on social infrastructure including education and health services mitigation can be provided though the CIL contribution generated by the development.

S106 and Other Matters

- 6.82 Policy CC9 provides for necessary contributions to be secured to ensure that the impacts of a scheme are properly mitigated. It is considered that each of the obligations referred to above would comply with the National Planning Policy Framework and Community Infrastructure Levy (CIL) in that it would be: i) necessary to make the development acceptable in planning terms, ii) directly related to the development and iii) fairly and reasonably related in scale and kind to the development.
- 6.83 In addition to the matters referenced above in the appraisal to be secured via s106 legal agreement, it is also considered necessary to secure a construction Employment Skills and Training Plan via s106 . This could be in the form of a site specific plan or equivalent a financial contribution. As such, the s106 will secure this in a flexible manner covering both options. As such, the s106 will secure this in a flexible manner covering both options, to enable post-planning discussions between the applicant and Reading UK CIC.
- 6.84 Equality - In determining this application the Council is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sexual orientation. It is considered that there is no indication or evidence that the protected groups have or will have different needs, experiences, issues and priorities in relation to this particular application.

Matters Raised in Representations

- 6.85 All matters raised are considered to be covered within the appraisal section above.

7. Conclusion

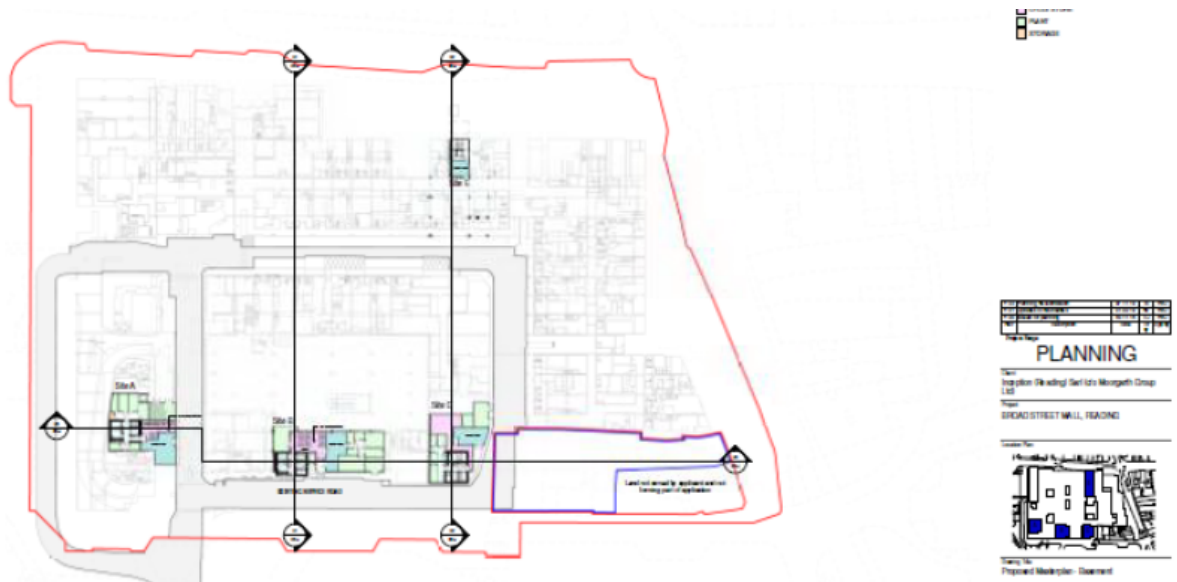
The development proposes tall buildings within the Western Area Tall Building Cluster as designated within the newly adopted Local Plan. The Blocks A, B and C are sited in locations specifically identified for tall buildings at the prescribed maximum height within the adopted Minster Quarter Area Development Framework. The acceptability of any tall building is subject to further detailed design criteria in particular in relation to the impact on Heritage Assets but this impact should be weighed against the public benefits of the scheme. Officers have fully assessed all material considerations and find that the critical planning balance of the benefits outweigh the potential conflicts. As such, you are recommended to grant full planning permission, subject to no substantial new objections following re-consultation and responses on wind mitigation, the recommended conditions and completion of the S106 Legal Agreement.

Drawings and Documents Submitted:

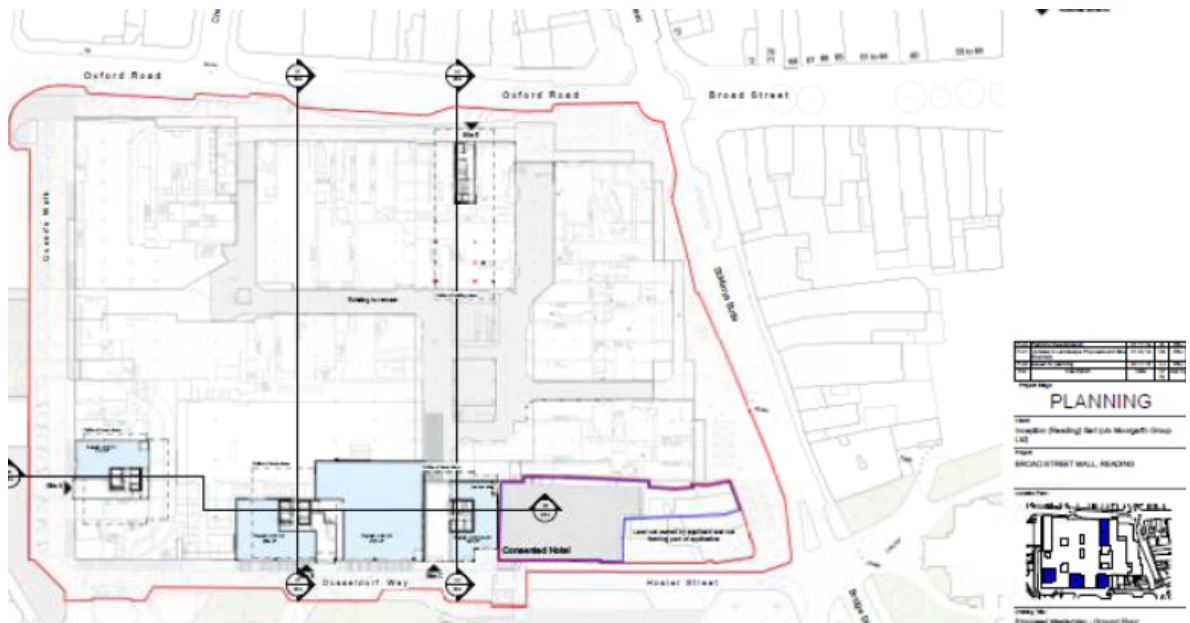
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DRAWING TITLE	SIZE	DWG No.	REVISION								
Site Location Plan	A3	0200	P-00			P-01			P-02		
Existing Basement Level	A1	0210	P-00					P-01		P-03	
Existing Ground Level	A1	0211	P-00					P-01			
Existing First Floor Level	A1	0212	P-00					P-01			
Existing Podium Floor Level	A1	0213	P-00					P-01			
Existing Second Floor Level	A1	0214	P-00					P-01			
Existing Dusseldorf Way & Queens Walk Elevations	A1	0215	P-00					P-01			
Existing Oxford Road & St Mary's Butts Elevations	A1	0216	P-00					P-01			
Proposed Masterplan - Site Plan	A1	0300	P-00	P-01		P-02		P-03			
Proposed Masterplan - Basement	A1	0301	P-00			P-01		P-02			
Proposed Masterplan - Ground Floor	A1	0302	P-00			P-01		P-02	P-03		
Proposed Masterplan - First Floor	A1	0303	P-00			P-01	P-02	P-03			
Proposed Masterplan - Podium	A1	0304	P-00			P-01	P-02	P-03			
Proposed Masterplan - Second	A1	0305	P-00			P-01	P-02	P-03			
Proposed Masterplan - Amenity Level	A1	0306	P-00	P-01		P-02		P-03			
Proposed Masterplan - Typical Level	A1	0307	P-00	P-01		P-02		P-03			
Proposed Street Scene - Dusseldorf Way & Queens Walk Elevations	A1	0308	P-00					P-01	P-02		P-03
Proposed Street Scene - Oxford Road & St Mary's Butts	A1	0309	P-00					P-01			P-02
Proposed Elevation - Dusseldorf Way	A1	0310	P-00					P-01	P-02		P-03
Proposed Elevation - Queen's Walk	A1	0311	P-00					P-01	P-02		P-03
Proposed Elevation - St Mary's Butts	A1	0312	P-00					P-01			P-02
Proposed Elevation - Oxford Road	A1	0313	P-00					P-01			P-02
Proposed Site Sections	A1	0314	P-00					P-01			P-02
Proposed Residential Entrances - Tower A	A1	0315	P-00					P-01	P-02		
Proposed Residential Entrances - Tower B	A1	0316						P-00	P-02		
Existing Car Park Layouts	A1	0330									P-00
Proposed Car Park Layouts	A1	0331						P-00			P-01
Site A - Basement Plan	A1	0400	P-00					P-01			P-02
Site A - Ground Floor Plan	A1	0401	P-00				P-01	P-02	P-03		
Site A - First Floor Plan	A1	0402	P-00				P-01	P-02			
Site A - Podium Floor Plan	A1	0403	P-00				P-01	P-02			
Site A - Second Floor Plan	A1	0404	P-00				P-01	P-02			P-03
Site A - 3rd Floor Plan (Amenity Level)	A1	0405	P-00	P-01		P-02		P-03			

DATE OF ISSUE	DAY	30	13	23	01	07	15	10	19		
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	YEAR	18	18	19	19	19	20	20	20		
DRAWING TITLE	SIZE	DWG No.	REVISION								
Site A - 4th - 21st Floor Plan	A1	0406	P-00	P-01	P-02	P-03	P-04			P-05	
Site A - 24th Floor Plan	A1	0407	P-00	P-01		P-02	P-03			P-04	
Site A - Roof Plan	A1	0408	P-00	P-01		P-02	P-03			P-04	
Site A - Proposed Elevations Sheet 1 of 2	A1	0409	P-00				P-01	P-02		P-03	
Site A - Proposed Elevations Sheet 2 of 2	A1	0410	P-00				P-01			P-02	
Site A - Typical Bay Elevation	A1	0411	P-00				P-01			P-02	
Site A - 22nd Floor Plan	A1	0412					P-00			P-01	
Site A - 23rd Floor Plan	A1	0413					P-00			P-01	
Site B - Basement Plan	A1	0500	P-00				P-01		P-02		
Site B - Ground Floor Plan	A1	0501	P-00			P-01	P-02	P-03			
Site B - 1st Floor Plan	A1	0502	P-00		P-01	P-02	P-03				
Site B - Podium Floor Plan	A1	0503	P-00			P-01	P-02				
Site B - 2nd Floor Plan	A1	0504	P-00			P-01	P-02		P-03		
Site B - 3rd Floor Plan (Amenity Level)	A1	0505	P-00	P-01		P-02	P-03				
Site B - 4th - 18th Floor Plan	A1	0506	P-00	P-01	P-02	P-03	P-04				
Site B - 20th Floor Plan	A1	0507	P-00	P-01			P-02				
Site B - Roof Plan	A1	0508	P-00	P-01		P-02	P-03			P-04	
Site B - Proposed Elevations Sheet 1 of 2	A1	0509	P-00				P-01	P-02		P-03	
Site B - Proposed Elevations Sheet 2 of 2	A1	0510	P-00				P-01			P-02	
Site B - Typical Bay Elevation	A1	0511	P-00				P-01			P-02	
Site B - 19th Floor Plan	A1	0512					P-00				
Site C - Basement Plan	A1	0600	P-00				P-01		P-02		
Site C - Ground Floor Plan	A1	0601	P-00			P-01	P-02	P-03	P-04		
Site C - First Floor Plan	A1	0602	P-00			P-01	P-02				
Site C - 2nd Floor Plan	A1	0603	P-00			P-01	P-02		P-03		
Site C - 3rd Floor Plan (Amenity Level)	A1	0604	P-00	P-01		P-02	P-03				
Site C - 4th - 7th Floor Plan	A1	0605	P-00	P-01	P-02	P-03	P-04				
Site C - 8th - 15th Floor Plan	A1	0606	P-00	P-01	P-02	P-03	P-04				
Site C - 17th Floor Plan	A1	0607	P-00	P-01		P-02	P-03				
Site C - Roof Plan	A1	0608	P-00	P-01		P-02	P-03				
Site C - Proposed Elevations Sheet 1 of 2	A1	0609	P-00				P-01	P-02			
Site C - Proposed Elevations Sheet 2 of 2	A1	0610	P-00				P-01				
Site C - Typical Bay Elevation	A1	0611	P-00				P-01				
Site C - 16th Floor Plan	A1	0612					P-00				

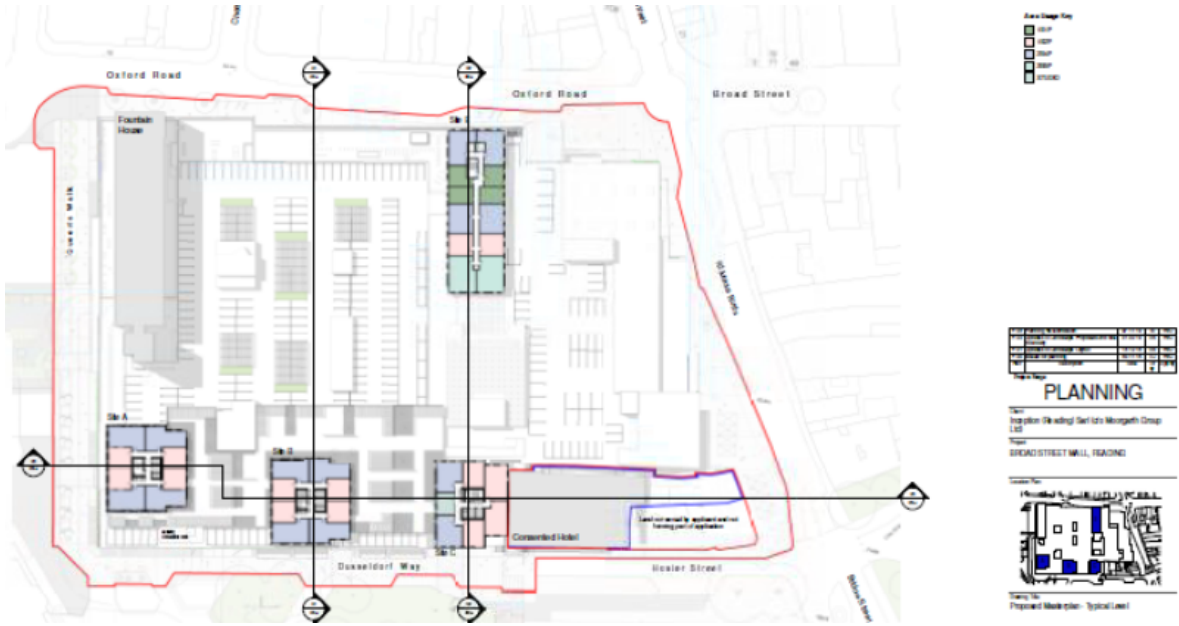
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DRAWING TITLE	SIZE	DWG No.	REVISION							
Site D - Quadrant House - Basement Level Plan	A1	0700	P-00							
Site D - Quadrant House - Ground Floor Plan	A1	0701	P-00							
Site D - Quadrant House - First Floor Plan	A1	0702	P-00							
Site D - Quadrant House - Second Floor Plan	A1	0703	P-00							
Site D - Quadrant House - Third Floor Plan	A1	0704	P-00							
Site D - Quadrant House - Fourth Floor Plan	A1	0705	P-00							
Site D - Quadrant House - Roof Plan	A1	0706	P-00							
Site D - Quadrant House - Proposed Elevations	A1	0707	P-00							
Site D - Typical Bay Elevation	A1	0708	P-00							
Site E - Oxford Road - Basement Plan	A1	0800	P-00			P-01				
Site E - Oxford Road - Ground Floor Plan	A1	0801	P-00		P-01	P-02				
Site E - Oxford Road - 1st Floor Plan	A1	0802	P-00		P-01	P-02				
Site E - Oxford Road - 2nd Floor Plan	A1	0803	P-00		P-01	P-02	P-03		P-04	
Site E - Oxford Road - 3rd - 6th Floor Plan	A1	0804	P-00	P-01	P-02	P-03			P-04	
Site E - Oxford Road - Roof Plan	A1	0805	P-00		P-01	P-02				
Site E - Oxford Road - Proposed Elevations	A1	0806	P-00			P-01	P-02		P-03	
Site E - Oxford Road - Bay Elevation Details	A1	0807	P-00			P-01			P-02	
Proposed Refuse Strategy Plan	A1	0340					P-00			
Phasing Plan	A1	0341						P-00		



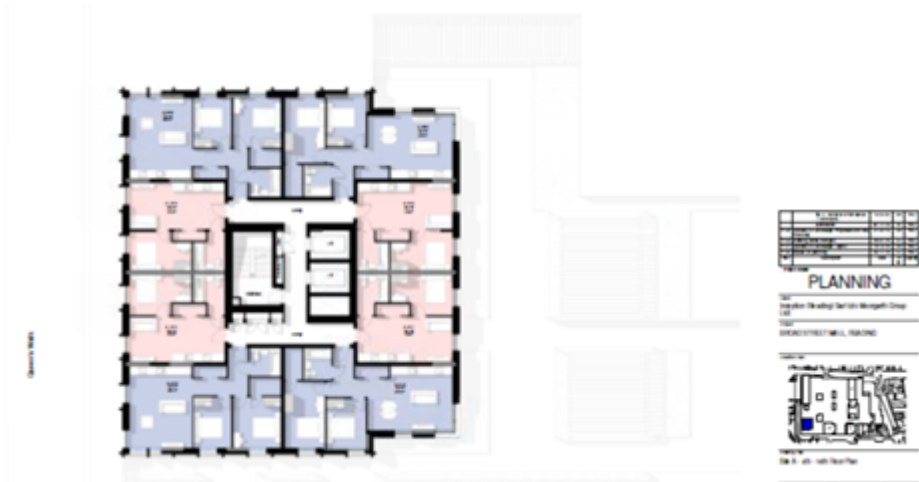
Proposed Master Plan Basement Level



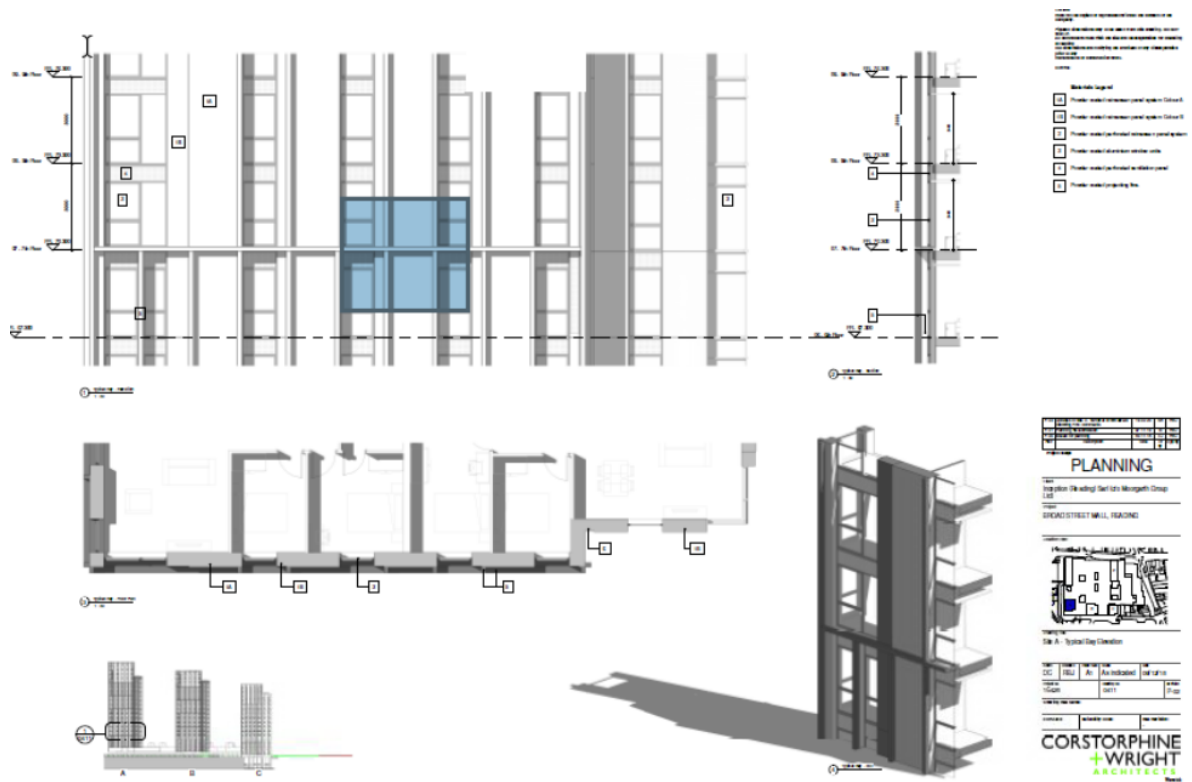
Proposed Master Plan Ground Floor



Proposed Master Plan General Layout



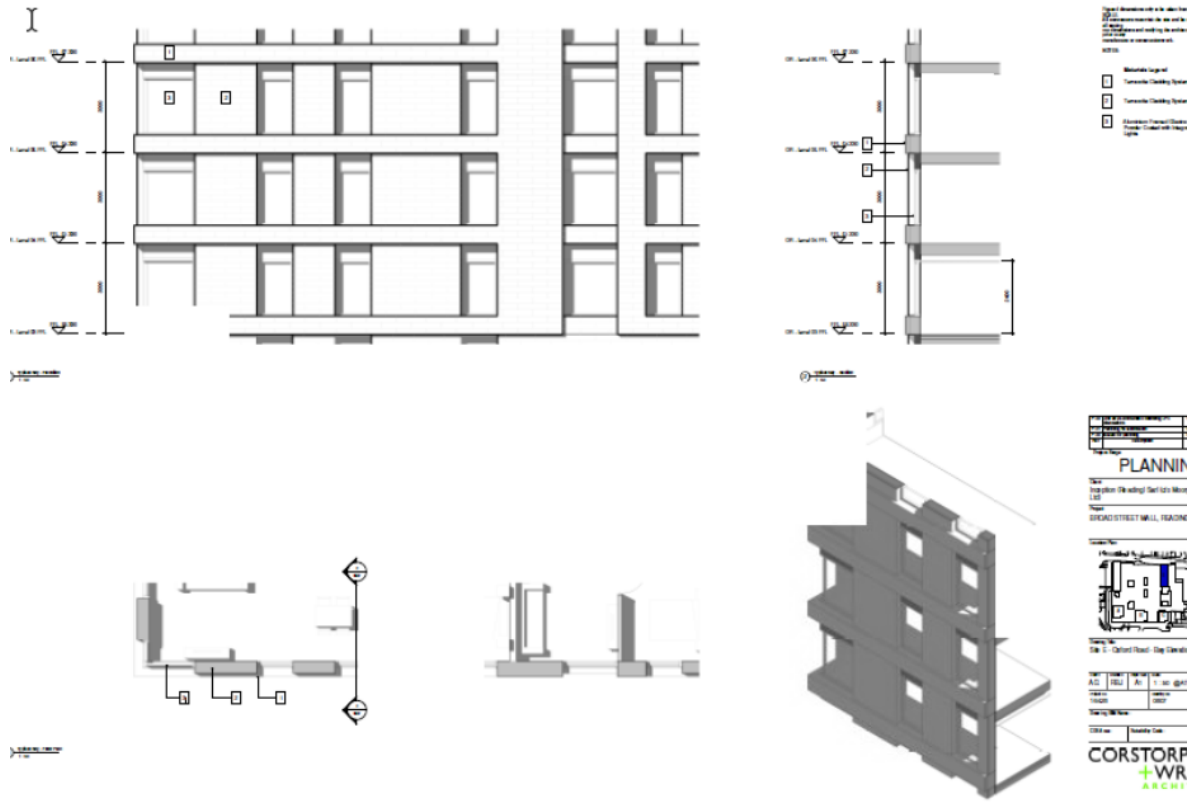
Site A Typical Floor Plan Layout



Site A Typical bay elevation



Site E Typical Floor Plan Layout



Site E Oxford Road Elevation - Bay Elevation Details

COMMITTEE REPORT

BY THE DIRECTOR OF ECONOMIC GROWTH & NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 4th March 2020

Ward: Abbey

App No.: 191841

Address: House of Fraser, The Oracle, Bridge Street, Reading, RG1 2AS

Proposal: Subdivision of three-storey retail unit (Class A1) and change of use to form: 1x flexible retail/restaurant/bar unit (Class A1/A3/A4), 1x flexible retail/restaurant unit (Class A1/A3) and 1x assembly and leisure unit (Class D2) at Riverside level; 1x retail unit (Class A1) and 1x assembly and leisure unit (Class D2) at lower ground level; 1x retail unit (Class A1) at upper ground level, together with alterations to the Riverside frontage and associated plant, car parking and external alterations at car park levels.

Applicant: The Oracle Shopping Centre Ltd

Deadline: Originally 14/02/2020, but an extension of time for the determination of the application has been agreed until 25/03/2020.

RECOMMENDATION:

Delegate to Head of Planning, Development and Regulatory Services to (i) GRANT full planning permission subject to completion of a S106 legal agreement or (ii) to REFUSE permission should the legal agreement not be completed by 25/03/2020 (unless officers on behalf of the Head of Planning, Development and Regulatory Services agree to a later date for completion of the legal agreement). The legal agreement to secure the following:

- An Employment Skills and Training Plan (construction phase and end user phase)

And the following conditions to include:

1. Time Limit - 3 years
2. Approved plans
3. Pre-commencement (barring demolition) details of all external materials to be submitted to the LPA (and sample details to be provided on site) and approved in writing with the LPA. Approved details to be retained on site until the work has been completed. This shall specifically include details of laminated anti shatter glass.
4. Prior to the first occupation of any Class D2 unit, the vehicular parking spaces (including disabled parking spaces) shall be installed and ready for use (in accordance with the approved plans).
5. Prior to the first occupation of any Class A1/3/4 unit, the cycle parking spaces shall be installed and ready for use (in accordance with the approved plans).
6. Prior to the first occupation of any Class D2 unit, the EV charging points shall be installed and ready for use (in accordance with the approved plans).
7. Prior to first occupation of the Class A1/3/4 unit, a Delivery and Servicing Plan shall be submitted and approved by the Local Planning Authority.
8. Pre-commencement (including demolition) demolition and construction method statement, specifically including noise, pollutant control and tree protection measures;
9. No mechanical plant serving any use (a) Class A1/A3/A4 unit at Riverside level; b) Class A1/A3 unit at Riverside level; c) Class D2 unit at Riverside level; d) Class A1 unit at lower ground level; e) Class D2 unit at lower ground level; f) Class A1 unit at upper ground level) to be installed until a noise assessment of the proposed mechanical plant has been submitted and approved by the Local Planning

Authority.

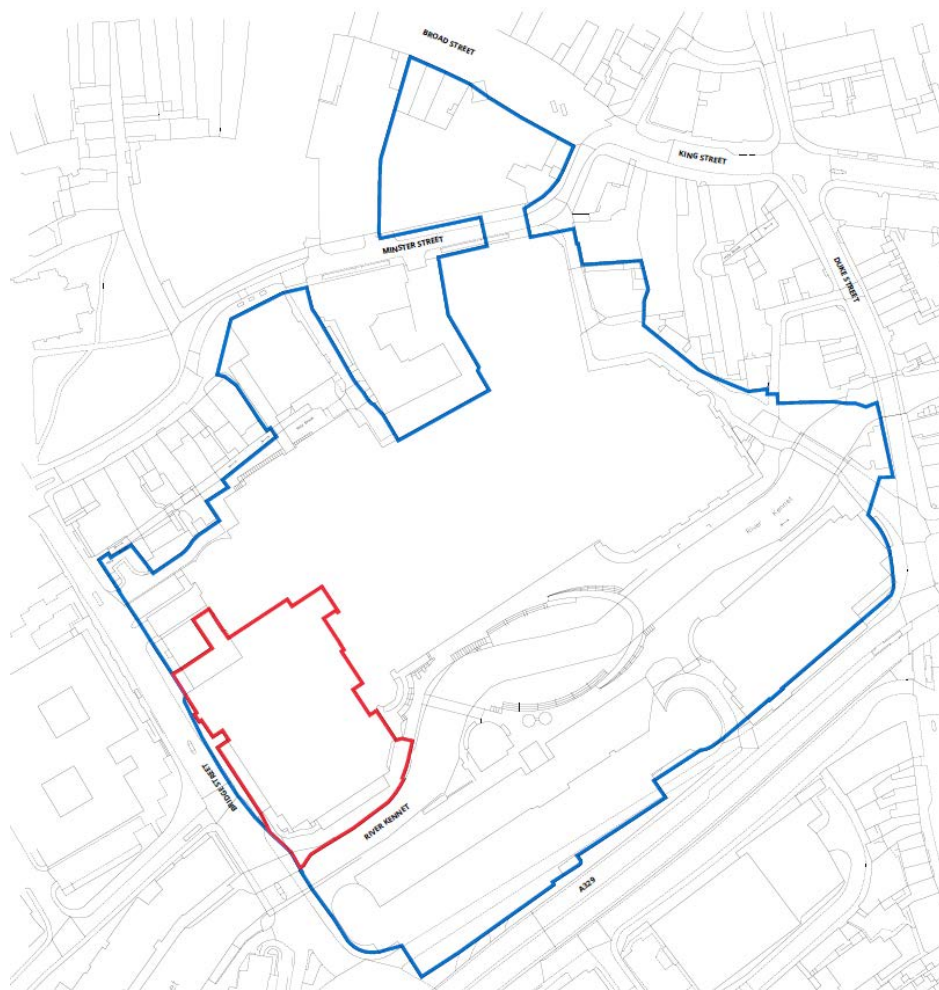
10. Pre-occupation (of Class D2 gym use only) noise (including specific reference to structure borne noise) assessment
11. No kitchen extraction system serving any use (a) Class A1/A3/A4 unit at Riverside level; b) Class A1/A3 unit at Riverside level; c) Class D2 unit at Riverside level; d) Class A1 unit at lower ground level; e) Class D2 unit at lower ground level; f) Class A1 unit at upper ground level) to be installed until an odour assessment has been carried out and a detailed odour management plan has been submitted to and approved in writing by the Local Planning Authority.
12. Compliance condition relating to hours of demolition/construction works
13. No development (barring demolition) shall commence on site until a comprehensive scheme of hard and soft landscaping has been submitted to and approved in writing by the Local Planning Authority. The subsequently approved hard and soft landscaping scheme shall be carried out in accordance with the approved details prior to the occupation of the Class A1/3/4 unit or in accordance with a timetable approved in writing by the Local Planning Authority. Any trees or plants which, within a period of 5 years from the date of planting, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, to be agreed in writing by the Local Planning Authority.
14. Protective measures, including fencing, ground protection, supervision and working procedures shall be carried out in accordance with the Arboricultural Report and Method Statement hereby approved.
15. Prior to the first occupation of any Riverside or lower ground floor unit hereby approved, submission and approval of a report to demonstrate the sustainability / energy measures denoted in submissions by Envision have been installed and achieved at the site.
16. Hours of use compliance condition - Monday to Saturday 08:00hours - 00:00 hours; Sunday, Bank Holidays and other statutory holidays 08:00 hours - 23:00 hours relating to the following units: a) Class A1/A3/A4 unit at Riverside level; b) Class A1/A3 unit at Riverside level; c) Class D2 unit at Riverside level; d) Class D2 unit at lower ground level. To clarify, no hours of use restrictions are proposed for either the Class A1 unit at lower ground level or the Class A1 unit at upper ground level.
17. Compliance condition for the Riverside level Food Hall to be implemented in accordance with the Operational Management Plan hereby approved (including no more than 20% of the GIA floorspace of the Food Hall be a Class A4 bar servery area - 20% of 1514.8sqm = 302.96sqm)
18. Compliance condition for the Riverside level unit(s) retaining 'active window displays' (both Riverside and Bridge Street elevations at 'Riverside level').
19. Prior to the first occupation of the Class A1/3/4 unit, details of formal surveillance measures (e.g. CCTV), on the Bridge Street elevation shall be submitted to and approved in writing by the Local Planning Authority.

Informatives:

1. Positive and Proactive Statement
2. Works affecting highways
3. Section 106 Legal Agreement
4. Flexible use of Class A1/A3 and A1/A3/A4 unit (s) for 10 years
5. Possible need for future separate advertisement consent
6. Clarification over pre-commencement conditions
7. No burning of waste on site
8. CIL
9. Party Wall Act
10. Building Control
11. Terms and Conditions

1. INTRODUCTION

- 1.1 The application site comprises the existing House of Fraser unit and corresponding parking areas above, in the south-west corner of the wider Oracle Shopping Centre area. The House of Fraser unit (which itself already incorporates ancillary Café Nero and Yo Sushi units) fronts onto the Riverside and Bridge Street, as well as including entrances within the shopping centre itself at Riverside, lower ground and upper ground floor level (with lifts / escalators providing direct access to the car parking above. The size of the application site boundary is specified as 0.4 hectares, with the wider Oracle site much larger in area.
- 1.2 The application site is subject to the following site constraints / designations:
- Inside the primary shopping area
 - Inside the central core
 - The Riverside elevation is a designated primary frontage in Central Reading
 - Within flood zone 1 and on the edge of Flood Zone 3
 - Within an area with archaeological potential
 - Within a green link network area
 - Within an air quality management area
 - Within a British Waterways consultation area
 - Within a smoke control area
 - Licensing cumulative impact area
- 1.3 The application site is also located in close proximity to:
- A series of cycle routes (e.g. Bridge Street and the southern Riverside)
 - The classified highway network (Bridge Street) and Sustrans Route on the opposite riverbank
 - The River Kennet (an area of identified biodiversity interest)
 - Grade II listed building to the north - Seven Bridges House (19 Bridge Street)
 - The Russell Street / Castle Hill Conservation Area is to the north
 - Potential contaminated land
- 1.4 The surrounding area comprises a mix of uses and building styles. To the north, beyond the listed Seven Bridges House and the car park entrance are a range of buildings (including listed buildings) which front onto Gun Street, which are largely commercial in use with some limited residential upper floor uses too. to the east is the remainder of the Oracle shopping centre and Riverside, with a host of food and drink occupiers on the Riverside. To the south, beyond the river are further food and drink units with parking above. To the west on the opposite side of Bridge Street are the civic offices and Riverside House residential units on Fobney Street.
- 1.5 The application is being considered at Planning Applications Committee as the proposal constitutes a 'major' development.



Site Location Plan (red line = application site; blue line = land under the ownership of the applicant but not part of the proposed development)

2. PROPOSAL

- 2.1 The proposal seeks full planning permission for the subdivision of the existing three-storey retail unit (Class A1), currently occupied by House of Fraser, and change of use to form:

At Riverside level -

- 1x flexible retail/restaurant/bar unit (Class A1/A3/A4), specified as a Food Hall unit accessed from the Riverside only (1,515sqm and ancillary 184sqm storage GIA). The unit would be let to one tenant, with this then being formed of a series of restaurants or street food vendors. A bar would be included (maximum 20% of floorspace to be a bar servery area). No hot-food takeaway outlets are proposed. The proposed opening hours are 0800-0000 hours Monday to Saturdays and 0800-2300 hours on Sundays and Bank Holidays.
- 1x flexible retail/restaurant unit (Class A1/A3) self-contained unit fronting/accessed via Bridge St (210sqm GIA).
- 1x assembly and leisure unit (Class D2), accessed from within the Oracle centre as existing, adjacent to the rotunda entrance (1,719sqm and ancillary 53sqm storage GIA). During the application the applicant indicated that the leisure use will be adventure golf. However, the proposal seeks permission for any Class D2, rather than being specific to an adventure golf use. Accordingly, an adventure golf use is not guaranteed and any Class D2 use could operate from the unit. During

the application the applicant has confirmed that the absolute maximum occupancy levels of this unit is 860 people (although the applicant also notes that the actual figures are likely to be lower). The proposed opening hours are 0800-0000 hours Monday to Saturdays and 0800-2300 hours on Sundays and Bank Holidays.

At lower ground level -

- 1x retail unit (Class A1), accessed from within the Oracle centre as existing (1,386sqm GIA). Unrestricted opening hours are sought.
- 1x assembly and leisure unit (Class D2) (2,475sqm GIA), accessed via a new Riverside level entrance lobby (110sqm GIA). The applicant has specified that they are in discussions with a family ten-pin bowling alley operator in respect of this unit and the layout of the floorspace reflects their operational requirements. However, the proposal seeks permission for any Class D2, rather than being specific to a bowling alley use. Accordingly, a bowling alley use is not guaranteed and any Class D2 use could operate from the unit. During the application the applicant has confirmed that the absolute maximum occupancy levels of this unit is 480 people (although the applicant also notes that the actual figures are likely to be lower). The proposed opening hours are 0800-0000 hours Monday to Saturdays and 0800-2300 hours on Sundays and Bank Holidays.

At upper ground level -

- 1x retail unit (Class A1) at upper ground level, accessed from within the Oracle Centre as existing (3272sqm and 381sqm storage GIA). Unrestricted opening hours are sought.

- 2.2 The proposals also involve alterations to the Riverside frontage, most notably the removal of the existing canopy and replacement with a new largely glazed portal entrance. This removes the undercroft area and reduces floorspace at lower ground level (above the Riverside level). The curtain walling on the splayed Riverside elevation will also be removed and replaced with a largely glazed entrance to serve the proposed lower ground floor leisure unit.
- 2.3 Furthermore, internally, the servicing arrangements have been reconfigured to accommodate the provision of several additional occupiers, with routes/corridors to the main servicing space denoted, together with storage, refuse, sub-stations and goods lift areas.
- 2.4 At car parking levels (two levels above the upper ground level) it is proposed to remove the lifts and escalators serving the existing House of Fraser unit and, therefore, the lobby/atrium areas enclosing the lifts / escalators will also be removed. This results in the freeing up of space at these points, facilitating further plant areas and a net increase of 15 additional standard car parking spaces, 2 additional disabled parking spaces (at car park level 1) and 2 electric vehicle charging points (at car park level 2). During the application the location of the disabled parking bays was amended to be adjacent to the main atrium/lift core on car park level 1, rather than continuing to be located where the current lifts and escalators are being removed (to assist in ensuring the disabled spaces are accessible in practice).
- 2.5 The proposals show indicative future signage zones, which do not form part of the actual proposals. Instead any signage would be subject to separate

future advertisement consent application(s). The provision of external seating and tables associated with the Riverside Food Hall and Bridge Street A1/A3 unit would also require separate licenses.

2.6 During the application several points of clarification and refinements to the original proposals have been made. None of these amendments were of a nature or extent to warrant formal re-consultation.

2.7 Submitted Plans and Documentation:

URB OR [08] 00 01 Rev D00 - Site Location Plan as Existing
URB OR [08] 37 01 Rev D00 - Riverside Level as Existing
URB OR [08] 42 01 Rev D00 - Lower Ground Floor as Existing
URB OR [08] 48 01 Rev D00 - Upper Ground Floor as Existing
URB OR [08] 55 01 Rev D00 - Car Park Level 01 as Existing
URB OR [08] 58 01 Rev D00 - Car Park Level 02 as Existing
URB OR [08] 70 01 Rev D00 - Elevations as Existing
URB OR [08] 80 01 Rev D00 - Sections as Existing

URB OR [08] 37 02 Rev D01 - Riverside Level as Proposed, as received 29/01/2020

URB OR [08] 42 02 Rev D01 - Lower Ground Floor as Proposed, as received 29/01/2020

URB OR [08] 48 02 Rev D01 - Upper Ground Floor as Proposed, as received 29/01/2020

URB OR [08] 55 02 Rev D01 - Car Park Level 01 as Proposed, as received 29/01/2020

URB OR [08] 55 03 Rev D00 - Accessible Bay Relocation Car Park Level 1, as received 29/01/2020

URB OR [08] 58 02 Rev D01 - Car Park Level 02 as Proposed, as received 29/01/2020

URB OR [08] 58 03 Rev D01 - Additional EV Charging Points Car Park Level 02, as received 14/02/2020

URB OR [08] 70 02 Rev D01 - Elevations as Proposed, as received 29/01/2020

URB OR [08] 80 02 Rev D01 - Sections as Proposed, as received 29/01/2020

URB OR [08] 98 01 Rev D02 - Soft Landscape Proposal, as received 12/02/2020

URB OR [08] 98 02 Rev D01 - Typical Tree Pit Detail, as received 29/01/2020

180503-RGL-ZZ-00-DR-E-73-0001- Electrical Building Services Street/Area/Flood Lighting Strategy Riverside Facade

Indicative Planting Palette by Urban Edge Ref URB-OR A6 90 01.doc Rev D01, dated 24/01/2020, as received 29/01/2020

Detailed Landscape Specification by Urban Edge Ref URB-OR A6 90 02 Rev D01, dated 24/01/2020, as received 29/01/2020

7949-D-AIA - Cli\Pro\7949-D-AIA-House of Fraser, JF The Oracle Shopping Centre, as received 12/02/2020

Design and Access Statement by Urban Edge Ref URB-OR A3 90 01-D01, dated November 2019

Drainage Statement by ByrneLooby Ref L1028-ST-R002 Rev 00 dated 20/09/19

Employment Skills Plan

Flood Risk Assessment by PBA Stantec Ref 47246 Rev B dated 12/11/ 2019

Street/Area/Flood Lighting (External) Statement Report by Rolton Group Ref 180503-RGL-ZZ-XX-RP-E-73-0001 Rev S2-PO3, dated 15/11/2019
 Noise Impact Assessment by Hoare Lea REP-1011201-05-BJ-20190911 Rev 4, dated 15/11/2019
 Planning Statement by Simply Planning dated November 2019
 Sustainability Statement Incorporating Energy Assessment & BREEAM Review by Envision Rev E dated 14/11/19
 Transport Statement by Waterman Infrastructure & Environment Ref WIE16556-100-R-1-1-5 Issue 5 dated 13/11/19
 Public Utility Supplies Statement Report by Rolton Group Ref 180503-RGL-ZZ-XX-RP-U-90-0001 Rev S2-P05, dated 15/11/19
 3 x computer generated images
 Night photograph of Oracle (Alamy Stock Photo) Ref RMHXE8, as received 29/01/2020
 Response to Sustainability Officer Comments - HoF, Oracle, Reading (191841) by Envision, dated and received 29/01/2020
 Tree Survey, Arboricultural Impact Assessment Arboricultural Method Statement & Tree Protection Plan by Hayden's Arboricultural Consultants Ref 7949 Rev A, dated 07/02/2020, as received 12/02/2020

All received on 15/11/19 unless where otherwise stated

- 2.8 Community Infrastructure levy (CIL): In relation to the community infrastructure levy, the applicant has duly completed a CIL liability form with the submission. Based on the uses proposed and the charging schedule, the charge will be £0.

3. **PLANNING HISTORY**

- 3.1 The Oracle shopping Centre and the current department store have been operating on the site since 1999. There have been numerous planning applications at the wider Oracle site in the past quarter of a century. Those which are specifically relevant to this proposal are:
- 3.2 97/00017/FD / 970419 - Demolition of existing buildings, redevelopment and change of use to provide: shopping centre (Class A1, A2 & A3), 41 residential units, leisure facilities including multi screen cinema (Class D2), car parking (2390 spaces) and community uses together with associated landscaping etc. Granted 04/04/1997.
- 3.3 This is the original permission relating to the construction of the Oracle Centre. Condition 62 of the permission is relevant in that removes permitted development rights for the sub-division of the existing House of Fraser department store:

62 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 or any order revoking or re-enacting that Order, with or without modifications there shall be no subdivision of the department stores shown on the approved drawings into separate shop units unless agreed in writing by the Local Planning Authority. Reason: as the balance between shop units and department store retail floor space has a critical effect on the vitality and viability of the rest of the town centre and the impact of any shift needs to be evaluated by the Local Planning Authority.

- 3.4 Usually under planning law, the continued retail use at part lower ground level and upper ground level would not in themselves require planning permission. This is as no change of use is taking place and instead the unit is being subdivided into smaller (continued retail) parts at these points. However, based on the wording of condition 62 of the original permission this permitted development right has been removed and, consequently, this forms part of this application.
- 3.5 991435 - Variation of conditions 18 and 19 of planning permission 97/0017/FD to allow obscure glazing of selected windows of the department stores. Granted 22/09/99.
- 3.6 050162 - New access and external seating area to House of Fraser Restaurant. Granted 29/04/05.

4. CONSULTATIONS

4.1 External

4.2 **Royal Berkshire Fire and Rescue**- No comments. RBFRS will deal with this matter in appropriate detail when consulted under the Building Regulations.

4.3 **British Waterways** - as per the Canal & River Trust response below.

4.4 **Environment Agency** - No objection, with it requested for the FRA to be listed as an approved plan/document, to which the development must adhere.

4.5 **Thames Water Developer Services** - No agreement required, owing to the type of work being carried out.

4.6 **Canal & River Trust** - No comment on the proposal, as the Trust act as Navigation Authority only for this section of the River Kennet.

4.7 **Crime Prevention Design Advisor (CPDA) at Thames Valley Police** - The initial response sought more details regarding maximum occupancy levels for the proposed leisure units. Once this information was provided, observations and recommendations were provided. These specifically related to the curtain wall glazing adjacent to the public realm and maximising surveillance opportunities on Bridge Street (natural and formal):

4.8 a) the use of laminated glazing to all windows and curtain wall structures adjacent to public areas is strongly recommended / preferred for security applications and prevention of injury. The plans can either be amended to detail this or be secured via condition.

4.9 b) Bridge Street will continue to remain a secondary façade lacking ground floor active surveillance. Improved active surveillance between the Proposed Food Market and public realm (under the Pop Out box) could be maximised within the design by 'managing/ specifying' the type and style or treatment of glazing use in this location. Accordingly, a condition is recommended which prevents the fitting of obscured glazing, advertising panels or any visual displays that obscures visibility between the public realm. This is to maximise natural surveillance and deter crime and fear for crime.

- 4.10 c) The existing and proposed cycle facilities located on the Bridge Street 'secondary' façade lacks natural surveillance from the building and is partly obscured by low brick wall and bus stop shelter. Surveillance within these areas would be significantly improved by the inclusion of formal surveillance (CCTV), details of which should be secured via condition.
- 4.11 Subject to these conditions being secured, the CPDA is content with the proposals.
- 4.12 **Internal**
- 4.13 a) **Transport Development Control** - The site is located within the Reading Central Area and within Reading's primary shopping area which is an area at the very heart of Reading Borough, consisting primarily of retail and commercial office developments. This area is well served by rail and bus links and also contains the largest proportion of public car parking spaces.
- 4.14 In terms of parking provision, following amendments during the application (original comments raised concerns about the location of disabled spaces not being accessible) the proposals seek to add 15 extra standard parking spaces (20 spaces at car park level 1, 2 at car park level 2, offset by the loss of 8 spaces at level 1 too) and 2 further disabled spaces (5 spaces provided at level 1, to offset 3 lost elsewhere at this level). 2 Electric Vehicle charging points will also be provided, located adjacent to the existing car park EV bays within the car park. These increases are as a result of the removal of the House of Fraser escalators and lifts, which will be infilled and utilised to provide additional parking. In accordance with the Council's Parking SPD parking should be provided appropriate to the size and type of unit. The increase in parking provision has been assessed and considered to be acceptable in the context of the proposed uses.
- 4.15 More specifically, TRICS generation analysis has been provided indicating that the proposed new Class A units and flexible Food Hall (Class A1/3/4) will generate similar trips to that of the existing space. The main change in transport generations will be for the new leisure D2 uses which will have a combined area of 4,193sqm (however it should be noted that there is a reduction of 6,101sqm of retail space). The data provided confirms that the proposed uses would result in a reduction in vehicle trips to and from the town centre area. Moreover, it is confirmed that this has been based on a worst-case scenario, as it does not account for any linked trips between the leisure uses and the existing town centre retail uses which would occur. The principle of the development is therefore acceptable. Both the parking and EV points will be secured by condition to be installed prior to the first occupation of any Class D2 use at the site.
- 4.16 In accordance with the Council's Parking Standards additional cycle parking is required for the D2 leisure use. However, supporting information details that the Oracle Centre has approximately 91 cycle parking spaces, plus 14 blue bike lockers, located in the Riverside car park and existing cycle provision is under-utilised. The Transport Statement states that in peak times the existing spaces will be sufficient to cover demand. Nevertheless, the applicant also proposes to install an additional 10 cycle parking spaces on Bridge Street, which is welcomed and supported in this context. A

condition will secure these being implemented prior to the first occupation of the adjacent Class A1/A3/A4 unit.

- 4.17 In terms of servicing, House of Fraser is currently serviced from the main service yard beneath the centre. This is accessed via Bridge Street, with the exit via Yield Hall Place. There are no substantial changes planned to the access to this area, but it is noted that reconfiguration to the servicing provision will be required. Given the likely multiple occupiers of the intended Food Hall (the exact number of occupiers is unspecified, resulting in a degree of ambiguity concerning the amount of servicing that will ensue) and standalone Class A1/3 unit fronting Bridge Street, and the need to maintain highway safety and amenity (from potential deliveries along Bridge Street), officers consider that a pre-occupation servicing management plan should be secured via condition and that this is required and necessary. More specifically, despite concerns from the applicant that such a condition is not necessary, the proposal will intensify the number of movements and therefore a service/management plan is required to ensure there is a suitable spread of deliveries. This is so queues do not extend on to Bridge Street, which is a busy bus route and main Transport route for the town centre and Holy Brook car park. The trigger point for the submission of the servicing management plan will be prior to the first occupation of the Class A1/A3/A4 unit, as this element has the greatest potential delivery impacts (owing to the possible substantial number of future occupiers).
- 4.18 Given the nature, location and level of works proposed, a pre-commencement Demolition and Construction Method Statement will be required to be secured via condition. This is to protect the amenity of local land uses and the character of the area, as well as for highway safety reasons. In overall terms there are no transport objections to the proposal subject to the conditions referenced.
- 4.19 **b) Natural Environment** - Initial tree and landscaping comments raised a number of matters which required the submission of further information / clarifications from the applicant. This included details regarding the protection of existing trees during construction and various queries relating to the form and nature of soft landscaping proposed along the Riverside, together with the extent of possible 'greening' works along Bridge Street too.
- 4.20 During the course of the application the applicant submitted commentary (for example outlining various constraints to soft landscaping on the Bridge Street frontage), the inclusion of further details to the plans regarding replacement and new planting along the Riverside and the submission of an Arboricultural Impact Assessment. The additional information was duly considered and some further concerns were raised. For example, concerns were raised in respect of the feasibility of retention / canopy protection during demolition works of the Hornbeam in the raised bed, adjacent to the portal to be removed. Furthermore, advice was provided in respect of shade tolerant plants that could be provided within land owned by the applicant off Bridge Street, with it reiterated that this should be provided.
- 4.21 The applicant subsequently supplied further information and details. The Arboricultural document has been updated to refer to the protection of the crown of the Hornbeam with boarding secured to the scaffolding. However, the tree plan (which indicates tree protection measures) had not been

updated to reflect this. Hence the Construction Method Statement (as recommended by Transport and Environmental Protection colleague will specifically secure tree protection measures too. The applicant has continued to resist the provision of any soft landscaping along Bridge Street, so whilst the principle of the Riverside details are largely considered appropriate (barring the area immediately outside the Class A1/3/4 unit - which are unspecified at this time), a pre-commencement (barring demolition) condition is required to secure full landscaping details. Both the Natural Environment and Planning Officers consider that, in line with the Council's Climate Emergency, the policy requirement to maximise greening and the current 'hard' nature of Bridge Street (thus any softening would be a tangible benefit) means that soft landscaping along both main frontages should be included in the scheme.

- 4.22 The recommended landscaping condition will also secure implementation of the landscaping scheme prior to the first occupation of the Class A1/3/4 unit or in accordance with a timetable approved in writing by the Local Planning Authority. Moreover, any trees or plants which, within a period of 5 years from the date of planting, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, to be agreed in writing by the Local Planning Authority. A separate compliance condition will ensure that protective measures shall be carried out in accordance with the Arboricultural Report and Method Statement submitted. With these conditions secured the proposals are considered appropriate from a Natural Environment perspective.
- 4.23 c) **RBC Ecology Consultant (GS Ecology)** - Based on the information submitted it is considered that the proposals will have a limited impact on wildlife. While it is noted that lighting is proposed on the Riverside, the information submitted demonstrates that the light spill onto the river will be within acceptable levels. Some concerns are raised in relation to the possible increased amount of internally sourced light spill through the proposed largely glazed frontages, in comparison with existing. However, given the already prevailing character of the Oracle Centre and that similar amounts of light spill could occur from House of Fraser at present, there is limited scope to demonstrate harmful impacts from the proposals.
- 4.24 d) **Reading UK CIC** - At the outset of the application the applicant advised that a S106 requiring a separate Employment, Skills and Training Plan (ESP) was not considered to pass the necessity test in their view. Reading UK CIC advised that a formalised S106 agreement was required to be put in place for both the Construction and End User phase, in line with RBC policy and guidance. Following discussions, the applicant agreed to UK CIC's suggestions and the exact form and terms of the ESP have been agreed. For example, the construction ESP will target progression into employment, apprenticeship / upskilling programmes and enable a local school/college/university to visit the construction site. Meanwhile, the end user ESP will include targets to maximise local employment and implement a skills and training learning programme. Such an ESP is welcomed and supported, as secured via S106 Legal Agreement. Reading UK CIC comment that the delivery of a formalised plan with the applicant will provide excellent visibility for Employment and Skills Plans, as well as the opportunity for The Oracle to reinforce its substantial commitment to the local community, and needs of the local workforce.

- 4.25 More generally, Reading UK CIC is in full support of the application, which seeks to offer a sustainable alternative provision to large scale department store shopping in the heart of Reading. The general reconfiguration of the store to include leisure/entertainment provision, with smaller retail units, makes sense in light of the quickly changing retail landscape throughout the UK. Footfall, and the vibrancy of the town centre, will depend more and more on the provision of this type of mixed-use scheme, so the changes within The Oracle are to be welcomed.
- 4.26 e) **Environmental Protection** - In overall terms there are no objections subject to conditions, given there are potential EP concerns in relation to: noise; lighting; odour and noise from kitchen extraction; and, issues arising through the construction and demolition phase.
- 4.27 The noise assessment submitted proposes suitable noise limits for the roof top plant. As the exact details of the plant are not yet known, it is recommended that a condition requiring a further assessment to be submitted, to confirm that the proposed plant will meet the limits and/or propose suitable mitigation to ensure the limits are met. This shall be worded to reference each separate unit proposed, to only be triggered when each unit is about to be occupied and hence not delay other units being occupied. The noise assessment also separately confirms that internal noise from the new uses will not adversely affect the nearby residents.
- 4.28 Cooking odour is also often a significant problem in commercial kitchens. Accordingly, an assessment of the likelihood of odours based on the proposed cuisine and a statement of how the proposals will ensure that odour nuisance will be prevented will be secured via condition. Like the noise condition, this will specifically reference each unit to allow applications to be submitted as and when occupiers are known.
- 4.29 The lighting information submitted in relation to the Riverside is considered appropriate from an EP perspective, although separate observations should be sought from the RBC Ecologist. The inclusion of the lighting plan/document on the list of approved plans for the development to be carried out in accordance with will ensure action can be taken should the lighting later prove brighter than shown.
- 4.30 During the construction and demolition phases concerns could arise about potential noise, dust and bonfires adversely impacting on nearby residents (and businesses). Accordingly, a condition will secure details of the measures to control pollutants as part of the construction and demolition method statement recommended by RBC Transport. A further condition will specify the demolition/construction hours.
- 4.31 f) **Leisure & Recreation** - No objections.
- 4.32 g) **CCTV Reading** - No objections.
- 4.33 h) **Sustainability** - The initial consultation comments firstly acknowledged the context and scope of the information submitted. Whilst in overall terms the proposals appear reasonable, it is suggested that further steps/measures could/should be introduced to seek to achieve the equivalent of at least 'very good' (rather than aligning with BREEAM 'Good')

as stated - both of which are below the BREEAM 'Excellent' standards required by Policy CC2). Suggestions were made in respect of some categories where shortfalls were identified. With specific regard to the energy elements, the predicted figures appear satisfactory, but it was suggested that a future proofing element was included, with the applicant committing to explore connecting to a district heating system in the future.

- 4.34 The applicant responded to the officer comments, providing further details on the BREEAM points raised and agreeing to the principle of exploring connecting to a district heating system in the future, should this be proven to save carbon over the existing arrangements. In this latter regard, the applicant does however note that there is no centralised plant and all operators install and maintain their own heating / hot water. Nevertheless, the applicant is willing to participate in any future council-led studies for decentralised energy in the local area.
- 4.35 Officers have considered the further information submitted by the applicant and, in short, are satisfied that this has component of the proposals has been satisfactorily justified in this instance. Accordingly, it is agreed by officers that in this specific instance it is not possible for the proposals to meet a BREEAM 'Excellent' standard as required by policy. Instead, the equivalent (given it has been demonstrated that BREEAM is not technically appropriate to apply in the context of the nature of these refurbishment proposals) of a BREEAM 'Good' rating is considered sufficient in this instance.
- 4.36 To ensure that the sustainability and energy matters which the applicant has committed to undertaking in their submissions are carried out in practice, it is considered appropriate to secure in this bespoke case a joint sustainability / energy based condition for a report to be submitted / approved prior to the first occupation of any Riverside or lower ground floor unit (as this is where the predominant works are taking place). This will be required to demonstrate that the measures committed to within the documentation submitted at application stage has been installed and achieved at the site. Hence, given the specific circumstances of this proposal, officers are content that the proposals are policy compliant in this regard.
- 4.37 **i) Access Officer** - Significant initial concerns were raised with the lack of step free access being provided within the R22 Food Hall unit. Instead the proposals were originally intending to introduce an internal set of three steps within the unit, making it inaccessible for those unable to walk steps. Similar concerns to those made by RBC Transport were raised in relation to the originally proposed disabled parking spaces not being located close to a lift core. After the submission of revised plans showing a platform lift within the Food Hall and relocated disabled parking spaces next to the main atrium and lift core, the access officer was content with the proposals.
- 4.38 **j) Emergency Planning** - the site is located within an area classed as a crowded place within the town centre. Whilst Reading is no more at threat of terrorism than anywhere else, there is still a risk to such crowded places, and flying/broken glass causes most injuries in the event of an explosion. Accordingly, laminated anti shatter glass is recommended to be

installed, with frames installed to a similar standard. This should be secured via planning condition.

- 4.39 **k) Waste Operations** - No comments.
- 4.40 **l) Lead Local Flood Authority (Via RBC Transport, in conjunction with RBC Streetcare Services Manager - Highways)** - It is confirmed that the proposal will not increase the impermeable area and therefore will not worsen the existing surface water run-off. The assessment is therefore considered to be acceptable and no further action is required.
- 4.41 **m) Licensing** - Based on the proposed plan/changes to the structure and proposed times of operation, there are no immediate issues with what is proposed. The proposals appear to be in line with the Cumulative Impact Policy. More generally, it is advised that any premises in the revamped development will need to apply for a licence to sell alcohol or provide entertainment, existing oracle policy appears to be a food lead environment with reasonable hours of trading, any business wishing to apply for late hours (after 12pm) will need to rebut the cumulative impact policy, depending on the type of businesses they may be granted hours which permit them to trade in the early hours.
- 4.42 **n) RBC Historic Buildings Consultant** - Contention that the proposed alterations to the Oracle along Bridge Street would not harm to the setting of the listed Seven Bridges House (19 Bridge Street) or the setting of the Russell Street / Castle Hill Conservation Area. Although the windows into the building would no longer be opaque resulting in greater light emissions, this part of the building is set back in the streetscene and only really directly relates to other modern parts of the Oracle, the Council offices and a block of residential units. It is also confirmed that the changes to the Riverside would not indirectly affect any designated heritage assets.
- 4.43 **o) Reading Design Review Panel** - The scheme was presented to the Reading Design Review Panel (DRP) on 21/11/19. A summary of the main comments from DRP were
- It is important to solve the jigsaw of numerous Riverside tenants and a standalone Bridge Street unit, the 1.5m level difference between the Riverside and Bridge Street and to encourage the retail and other potential tenants to provide clear visibility on Bridge Street at low and high levels.
 - Removing canopy on Riverside is worthwhile and the symmetry and relationship between the two canopies relates the two corners. While increasing visual permeability of the centre, this loses the architectural articulation. Suggestion to look at the articulation between the two; creating a minor reflection or a similar family may reduce the impact? Alternatively, all three elevations could be deliberately different.
 - Concern regarding access and particularly the reduction of access to the Food Hall from inside the centre and from the car park. Suggestion there should be better links through to the centre and the atrium.
 - South facing and outdoor seating area are supported by the DRP, likewise the removal of the portal and undercroft on the Riverside in principle, particularly as it will provide improved opportunity for activity.
 - DRP supports the idea of enhancing the landscaping, retain existing trees and wherever possible providing soft and "green" landscaping at ground level, on walls and at roof level too.

- Overall the changes made make the scheme look substantially refreshed and are likely to improve the connectivity to shopping mall, cafe on Bridge Street and the Riverside Food Hall.

4.44 Public consultation

- 4.45 A series of site notices were erected on 26/11/19, expiring on 17/12/19. A press notice was published on 5/12/19, expiring on 26/12/19. House of Fraser and 19 Bridge Street were also individually consulted by letter on 25/11/19, expiring on 16/12/19. No responses have been received.

5 RELEVANT PLANNING POLICY AND GUIDANCE

- 5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy Framework (NPPF) which states at Paragraph 11 "Plans and decisions should apply a presumption in favour of sustainable development".
- 5.2 Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority to have special regard to the desirability of preserving a listed building or its setting or any features of special interest which it possesses.
- 5.3 Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority in the exercise of its functions to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area.
- 5.4 For this Local Planning Authority the development plan is now in one document - the Reading Borough Local Plan (November 2019), which fully replaces the Core Strategy, the Sites and Detailed Policies Document and the Reading Central Area Action Plan. The relevant policies are:

- CC1: Presumption in Favour of Sustainable Development
- CC2: Sustainable Design and Construction
- CC3: Adaptation to Climate Change
- CC4: Decentralised Energy
- CC5: Waste Minimisation and Storage
- CC6: Accessibility and the Intensity of Development
- CC7: Design and the Public Realm
- CC8: Safeguarding Amenity
- CC9: Securing Infrastructure
- EN1: Protection and Enhancement of the Historic Environment
- EN5: Protection of Significant Views with Heritage Interest
- EN6: New Development in a Historic Context
- EN11: Waterspaces
- EN12: Biodiversity and the Green Network
- EN14: Trees, Hedges and Woodland
- EN15: Air Quality
- EN16: Pollution and Water Resources
- EN17: Noise Generating Equipment
- EN18: Flooding and Drainage
- TR1: Achieving the Transport Strategy

TR3: Access, Traffic and Highway-Related Matters
TR4: Cycle Routes and Facilities
TR5: Car and Cycle Parking and Electric Vehicle Charging
RL1: Network and Hierarchy of Centres
RL2: Scale and Location of Retail, Leisure and Culture Development
OU5: Shopfronts and Cash Machines
CR1: Definition of Central Reading
CR2: Design in Central Reading
CR3: Public Realm in Central Reading
CR4: Leisure, Culture and Tourism in Central Reading
CR5: Drinking Establishments in Central Reading
CR7: Primary Frontages in Central Reading
CR8: Small Shop Units in Central Reading

- 5.5 Relevant Supplementary Planning Documents (SPD) are:
Employment, Skills and Training SPD (2013)
Revised Parking Standards and Design SPD (2011)
Revised SPD on Planning Obligations under Section 106 (2015)
Sustainable Design and Construction SPD (2019)
- 5.6 Other relevant guidance
Russell Street / Castle Hill Conservation Area Appraisal

6 APPRAISAL

- 6.1 The main matters to be considered are:
- Principle of development / land use matters
 - Design considerations and effect on character / heritage assets
 - Impact on amenity
 - Transport
 - Landscape/ecology/SuDS
 - Other Matters
 - S106 Legal Agreement
 - Equalities impact
- 6.2 Principle of development / land use and related matters
- 6.3 In its simplest terms, the proposals involve the sub-division of the existing House of Fraser unit into six separate planning units. In comparison with the existing Class A1 retail use, the proposal seeks a far wider range of possible uses, with the provision of two standalone assembly and leisure units (Class D2), a flexible Class A1/A3/A4 unit, a flexible Class A1/A3 unit and two continued (but smaller) Class A1 retail units.
- 6.4 It is acknowledged that the repurposing of the space will inevitably result in an overall loss of Class A1 retail floorspace at the application site. However, the prevailing local policies fully support a mix of uses within Central Reading (as a regional centre), with this being at the heart of the strategy. Policy CR7 relates to primary frontages, which the Riverside is within and Bridge Street is outside. Along frontages Class A1-5, C1, D1-2 or related sui generis uses will be supported, which the proposals comply with in full in this regard. Although there is a reduction in Class A1 use, the proposed uses will collectively add to the overall diversity of the centre.

- 6.5 With specific reference to the two leisure units, Policy CR4 recognises that leisure uses which would attract a wide range of people into the centre will be encouraged. It is considered that the proposals would, as the supporting text to the policy notes, assist in widening the variety of the offer of the centre, with this also helping to attract a greater range of people into the centre. Accordingly, the units would introduce uses which would make a positive contribution to the overall character of the centre. As such, in pure land use terms, the two leisure units are welcomed and supported.
- 6.6 It is also relevant to note that usually under planning law, the continued retail (Class A1) use at part lower ground level (unit L43 on the proposed plan) and upper ground level (unit U48 on the proposed plan) would not in themselves require planning permission as no change of use is taking place and instead the unit is being subdivided into smaller (continued retail) parts at these points. However, based on the wording of condition 62 of the original permission (see section 3 above) this permitted development right has been removed and, consequently, planning permission is required for these elements too. In land use terms, based on current local and national policies, the provision of these smaller units raises no issues and reflects the changing dynamics of the retail sector since the 1990s.
- 6.7 Turning to consider the principle of the two flexible Class A1/A3/A4 and Class A1/A3 units (both at Riverside level), the principle of the proposed uses, these uses align with the principles specified above by Policy CR7, as well as Policies RL1, RL2, CR1 and CR5. With specific regard to Policy CR5, the possible Class A4 (drinking establishment) element, this is an accessible location and would contribute to the evening and night-time uses, subject to amenity matters discussed separately below.
- 6.8 It is recommended for an informative to be included within any permission denoting that if implemented, specifying the flexibility for use within the Bridge Street Class A1/A3 unit for 10 years from the date of any permission. After 10 years the lawful use would revert to whichever of the permitted uses is taking place at the time within the unit. The same applies in part to the flexible retail/restaurant/bar (Class A1/A3/A4) unit, intended to be a Food Hall. In this case there would be a condition which limits the Class A4 element to 20% of the floorspace (as discussed in detail in the amenity section below), which would remain the case after the 10 year period expires.
- 6.9 Consequently, the principle of the proposed development is established. The amenity section below considers the various potential impacts of the proposed uses in more detail.
- 6.10 Design considerations and effect on character / heritage assets**
- 6.11 The proposals primarily involve the change of use and sub-division of the existing unit. To facilitate this, several external alterations are proposed. These predominantly relate to the Riverside frontage and consist of:
- a new largely glazed entrance to access the lower ground level Class D2 unit (on the splayed riverside elevation)
 - removal of the existing canopy (and therefore the Riverside undercroft area too) and replacement with a new largely glazed portal entrance with lighting, to serve as an entrance for the proposed Food Hall.

- 6.12 The alterations represent contemporary lightweight additions which assimilate satisfactorily into the remaining context of the building (e.g. retained stone panels) and wider Oracle site. In particular, these elements will visibly activate the Riverside frontage, with this being a clear tangible planning benefit of the development. Being largely glazed (with the ground floors being free from vinyls, banners or roller shutters and thereby retaining 'active window displays' - as secured by condition - relating to both the Riverside and Bridge Street elevations) will assist in making the uses more visible and enticing for passers-by, as well as assisting legibility as a whole.
- 6.13 At ground level the 'shopfront' entrances are akin to those seen elsewhere at the wider Oracle site and include sliding/folding doors to allow indoor/semi-outdoor seating and eating opportunities, as well as dedicated outdoor seating (which will be subject to separate licenses). In comparison with the existing inactive frontages at this point, the proposals will enable far more engaging frontages. Above is an indicative signage zone, with the upper floor glazed façade framed by a portal and columns following the existing rhythm. Between the floors decorative cladding panels are shown. The exact details of the materials, although indicated, have not been provided at application stage. Therefore, samples and manufacturers details will be secured via pre-commencement (barring demolition) condition. This is required to ensure the design quality in this instance, which will be crucial to the success of the proposed development.
- 6.14 It is evident that whilst various works are proposed on the Riverside, fewer alterations are proposed on the Bridge Street elevation. Although officers consider that it would have been preferable to fully open up the Bridge Street façade (with access into the proposed Food Hall at this point), as Reading DRP suggests, the change in land levels are acknowledged to be a significant constraint. The provision of a standalone unit on Bridge Street, together with clear glazing (secured via condition) and anticipated soft landscaping works do represent improvements in comparison with the existing situation. Reading DRP also raised concerns about the loss of architectural articulation between the Bridge Street (largely unchanged) and Riverside (revamped) elevations. However, officers are content that this is not essential in this instance, and the proposals in themselves are not objectionable to on this basis.
- 6.15 It is also noted that the removal of the roof level lifts and escalators (which presently serve House of Fraser), together with the removal of the pop out canopy on the Riverside, means in overall terms there is a reduced massing as a result of the proposals. Set within the context of the nature of the works, no design-based concerns are raised in this regard.
- 6.16 Turning to consider the impact of the proposals on nearby heritage assets, the Council's Historic Buildings Consultant has confirmed (as specified at section 4n) above) that the proposals are acceptable in this instance. Accordingly, in general terms the proposals are policy compliant in design-related matters, subject to conditions.
- 6.17 Amenity**
- 6.18 It is fully acknowledged that the sub-division of a single retail unit into six planning units, each with its own far wider use(s), may potentially result in a more intensive function of the space than existing. This has the potential

to have a negative impact on the amenity of nearby occupiers (e.g. Riverside House residential units on Fobney Street to the south-west) and users of the area more generally. Accordingly, this has been carefully considered and various steps are proposed to maintain amenity.

- 6.19 Considering first the opening hours, the applicant is proposing for the non-Class A1 units (specifically the A1/A3/A4 unit at Riverside level; Class A1/A3 unit at Riverside level; Class D2 unit at Riverside level; Class D2 unit at lower ground level) to be open:
- Monday to Saturday 08:00hours - 00:00 hours;
 - Sunday, Bank Holidays 08:00 hours - 23:00 hours.
- 6.20 Within this Central Reading / primary shopping area / central core location a degree of late-night noise/disturbance already occurs and the proposed would not substantially worsen this situation. Accordingly, the proposed hours are considered appropriate in this instance and will be secured via condition. To clarify, no hours of use restrictions are proposed for either the Class A1 unit at lower ground level or the Class A1 unit at upper ground level. This is consistent with the approach taken previously in relation to retail units accessed from inside the Oracle centre.
- 6.21 With specific reference to the intended Food Hall which would front the Oracle Riverside, the applicant has submitted an operational management plan, following the example of a comparable scheme at Broad Street Mall in 2019 (Ref 190099). This commits the applicant to limiting the Class A4 bar servery area to no more than 20% of the total floorspace (20% of 1514.8sqm = 302.96sqm). With the Class A4 (drinking establishment) element limited to 20% of the floor space, both planning and Licensing officers are content with this component of the scheme. The operational management plan also duplicates the aforementioned opening hours and commits to other licensing (e.g. membership of Reading Pub Watch scheme; Reading Business Against Crime / Townsafe; and, meeting RBC's Cumulative Impact Policy) and security (e.g. code of conduct; entry / exit / dispersal policies and CCTV) standards. The commitment of the applicant in this regard is welcomed and considered necessary given the nature of the proposal. In practice, the measures detailed within the operational management plan will be secured via condition.
- 6.22 In respect of the two leisure (Class D2) units, although the applicant has indicated the likely adventure golf and family ten-pin bowling uses, the Class D2 use class as a whole is wide. Class D2 uses comprise: cinemas, music and concert halls, bingo and dance halls (but not night clubs), swimming baths, skating rinks, gymnasiums or area for indoor or outdoor sports and recreations (except for motor sports, or where firearms are used). Therefore, the different uses within the same use class could potentially have very different transport and amenity (e.g. noise/disturbance / hours / anti-social behaviour / crime) implications. Accordingly, the proposal needs to be considered based on any Class D2 use, and not just the specific intended uses the applicant has denoted. It is considered that the previously referenced hours condition largely mitigates any significant amenity concerns for any Class D2 use, while the transport section below demonstrates that all traffic impacts have been accounted for.
- 6.23 With specific regard to any possible future gym (Class D2) use, a separate

condition will also be secured to require a noise assessment, including specific reference to structure borne noise, to be submitted and approved prior to the first use of the unit(s) for a gym use. This is because structural borne noise at low frequencies causing vibration is a known potential issue associated with gyms, impacting on the amenity of occupiers/users of other floors of the same building. As such, this safeguard will protect amenity should a gym use transpire to occur at the site in the future. In overall terms it is considered that any Class D2 use could suitably operate from the proposed units without causing significant adverse amenity impacts and therefore unrestricted Class D2 uses are considered appropriate in this instance.

6.24 Various specialist officers have also provided observations on the proposals and many of the matters outlined (see section 4 above) revolve around seeking to protect nearby amenity. For example, from an Environmental Protection perspective, conditions will secure details of external plant and kitchen extraction systems serving any applicable specific unit prior to first use. Another example is the CCTV surveillance details to be secured on the recommendation of the Crime Prevention Design Advisor at Thames Valley Police. When considered within the context of the proposed hours condition and operational management plan associated with the Food Hall, these various measures will suitably protect the amenity of nearby occupiers and users of the area as a whole.

6.25 In terms of the amenity of future occupiers (both operators, employees and customers) of the proposed units, these are shown to be regularly shaped and open plan units with suitable access to supporting facilities (e.g. dedicated storage spaces and direct routes to likely servicing areas). All units have suitable levels of outlook and access to natural day/sunlight, within the context of pre-existing deep floor plates. For customers of the Food Hall, the plans were revised during the application to show an anticipated area for a platform lift, to enable step-free access throughout the unit.

6.26 Transport

6.27 As per the transport comments at section 4a) above, following the submission of revised information during the application, the proposals have been fully justified from a transport perspective, subject to several conditions. In particular, it is illuminating that the proposed uses will result in a reduction in vehicle trips to and from the town centre area, even without considering linked trips (between the leisure uses and the existing town centre retail uses), which it is considered would be likely to occur in practice.

6.28 Landscape/ecology/SuDS

6.29 As per the Natural Environment Officer's comments, summarised at section 4b) above, the submitted details (following revisions during the application) are largely considered appropriate. However, there are some outstanding details (e.g. provision of soft landscaping on Bridge Street and immediately adjacent to the Class A1/3/4 unit) means full landscaping details will be secured via pre-commencement (barring demolition) condition.

6.30 Turning to consider ecology-based matters, the RBC Ecology Consultant (see section 4c) above) has some concerns about light spill onto the river from

internal lighting within the units, but given the existing context there is limited scope to demonstrate harm in this regard. The lighting information submitted to justify the external lighting proposed is considered appropriate. In terms of SuDS, officers are content that the information submitted is acceptable and no conditions are required in this instance (see section 4l above).

6.31 Other matters

6.32 Sustainability / energy - As detailed at section 4h) above, it is acknowledged that the proposals, as largely a refurbishment proposal, do not align neatly with the standard BREEAM / Energy requirements. The applicant has submitted a detailed and robust assessment demonstrating the context in full, including satisfactorily responding to officer concerns during the application. In short, it is evident that the applicant is committed to incorporating a range of sustainability and energy measures within the proposals. In the specific circumstances of this case, it is considered reasonable and necessary to secure the various measures via condition (required to be submitted / approved prior to the occupation of any Riverside or lower ground floor unit - to ensure the measures are implemented), rather than securing an official BREEAM rating or energy measures.

6.33 Flooding - In summary, the Flood Risk Assessment (FRA) has sufficiently demonstrated that the proposals comply with Policy EN18. Furthermore, the Environment Agency raise no objection to the proposals and seek for the FRA to be included on the list of approved documents for the development to be carried out in accordance with.

6.34 Future advertisements - The applicant has indicatively shown future areas for signage. However, no application for advertisement consent has been sought as part of this application and therefore this is not assessed as part of this application. An informative will be included on the decision notice to clarify this to the applicant. In the future, if/when advertisement consent applications are sought, these will be judged on their own merits.

6.35 S106 Legal Agreement

6.36 As detailed at section 4d) above, during the application the applicant has liaised with Reading UK CIC to agree the form and extent of a construction and end user stage Employment, Skills and Training Plan. This shall be secured in full via s106 legal agreement. It is considered that the obligation would comply with the National Planning Policy Framework and Community Infrastructure Levy (CIL) in that it would be: i) necessary to make the development acceptable in planning terms, ii) directly related to the development and iii) fairly and reasonably related in scale and kind to the development.

6.37 Equalities Impact

6.38 In determining this application the Council is required to have regard to its obligations under the Equality Act 2010. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the particular planning application. Therefore, in terms of the

key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

7 CONCLUSION

- 7.1 This proposal has been carefully considered in the context of the Reading Borough Local Plan 2019 and supplementary planning documents. The proposal raises no in-principle land use issues and has demonstrated that it will not adversely impact on nearby amenity, subject to conditions mitigating any impacts. Furthermore, the design approach is welcomed, and no harmful impacts will occur to nearby heritage assets. Moreover, it is considered that the scheme proposes an exciting range of uses which will maintain and enhance the vitality and viability of the regional centre, with the activation of the Riverside being a clear tangible planning benefit of the development.
- 7.2 The proposals are thus considered to be acceptable within the context of national and local planning policies, and, accordingly, full planning permission is recommended. This is subject to the conditions and completion of the S106 Legal Agreement specified at the outset of the report.

Case Officer: Mr Jonathan Markwell



Existing Riverside level



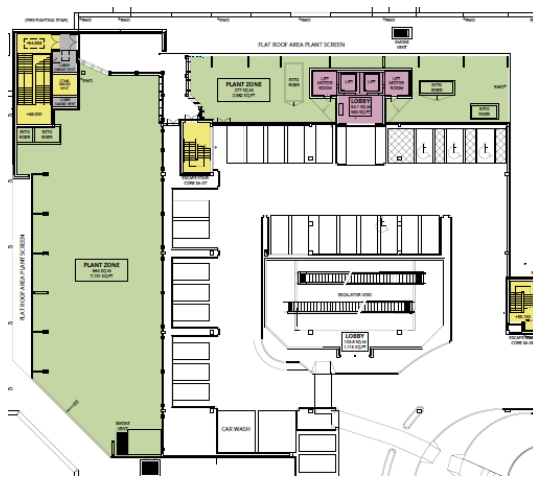
Proposed Riverside level



Existing upper ground floor plan



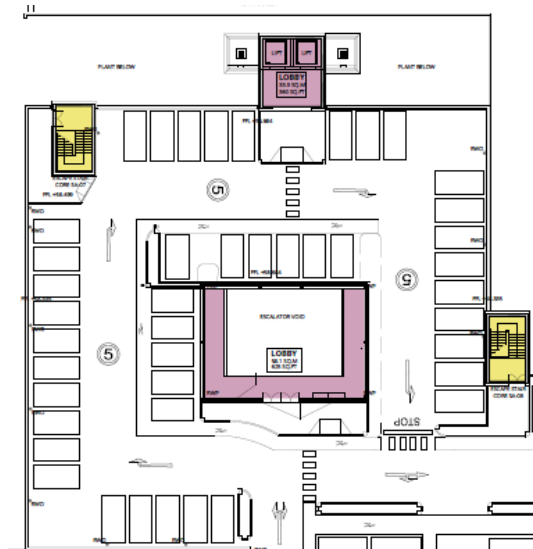
Proposed upper ground floor plan



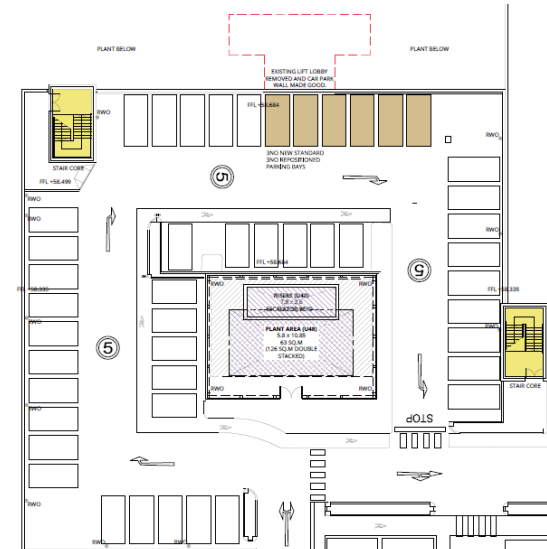
Existing car park level 1



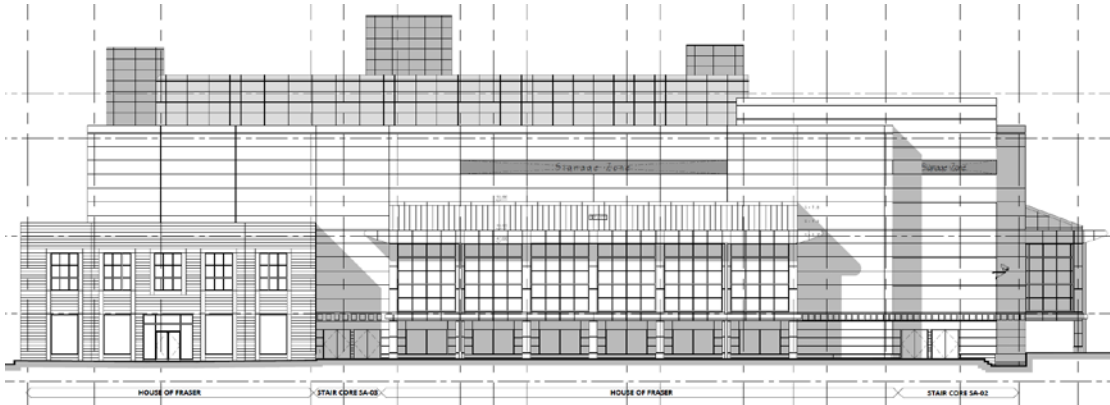
Proposed car park level 1



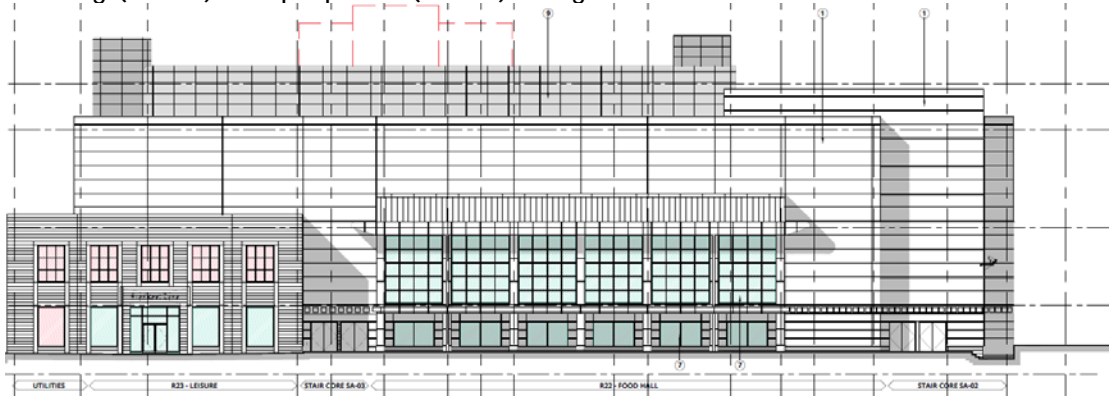
Existing car park level 2



Proposed car park level 2

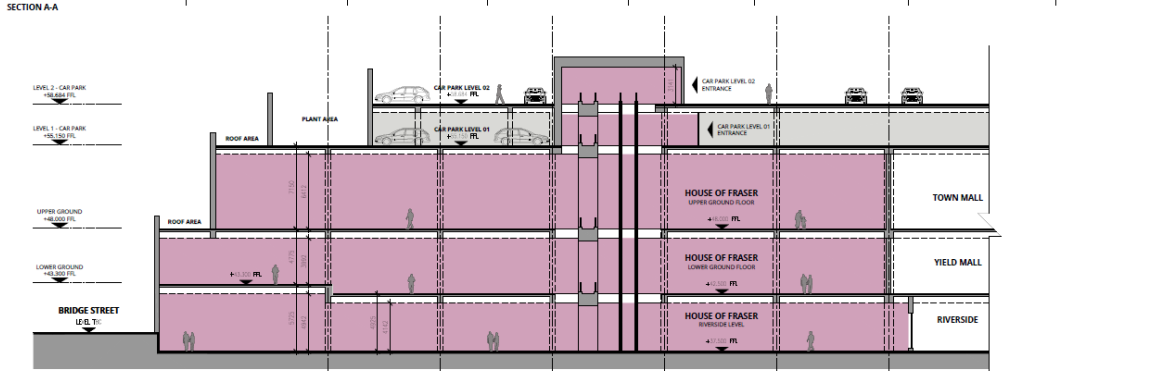
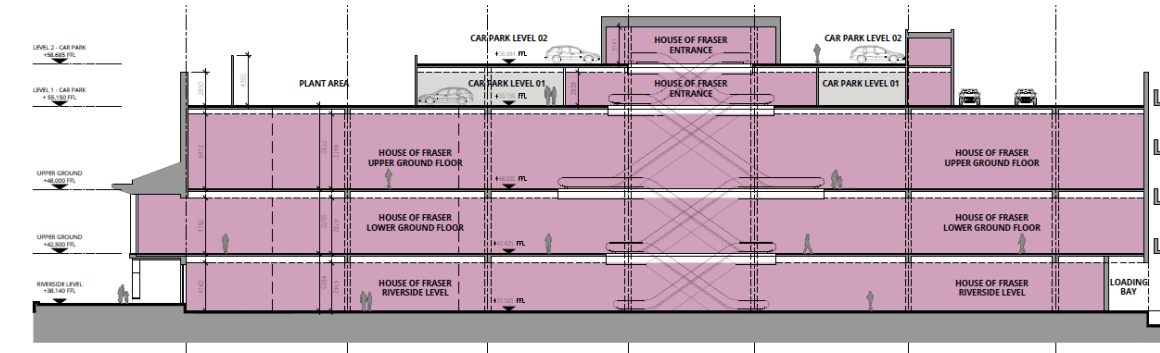


Existing (above) and proposed (below) Bridge Street elevations

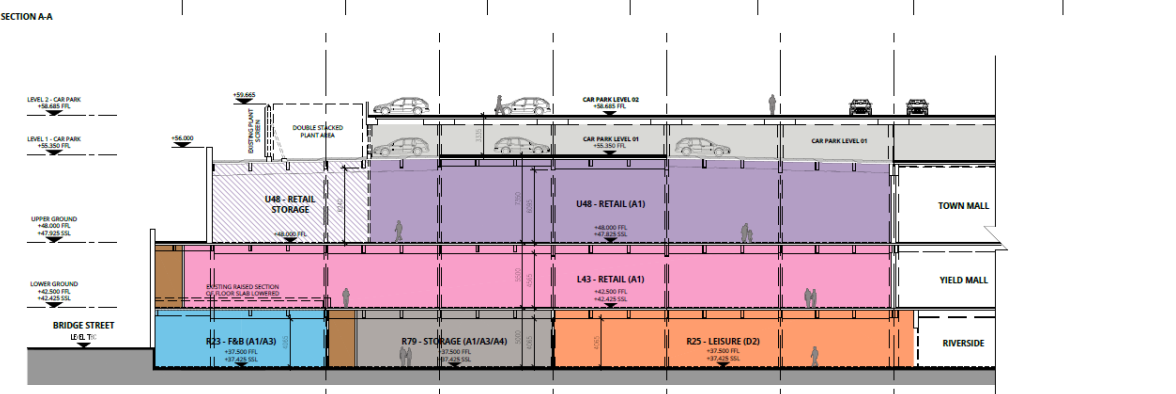
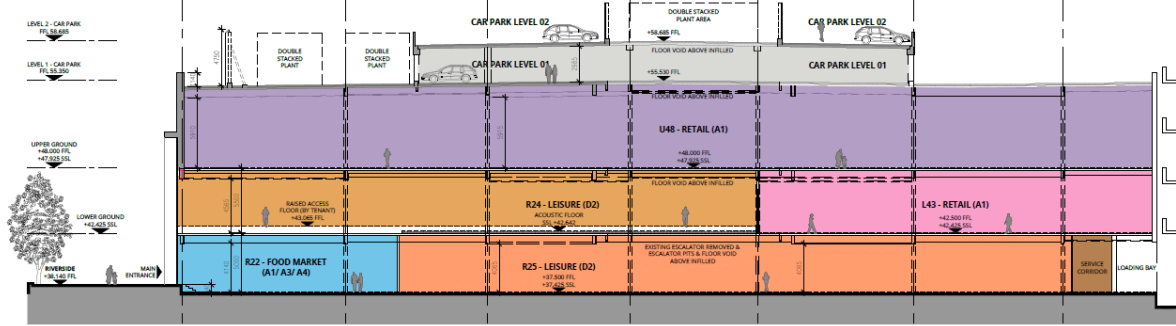


Existing (above) and proposed (below) Riverside elevations





Existing (above) and proposed (below) section plans

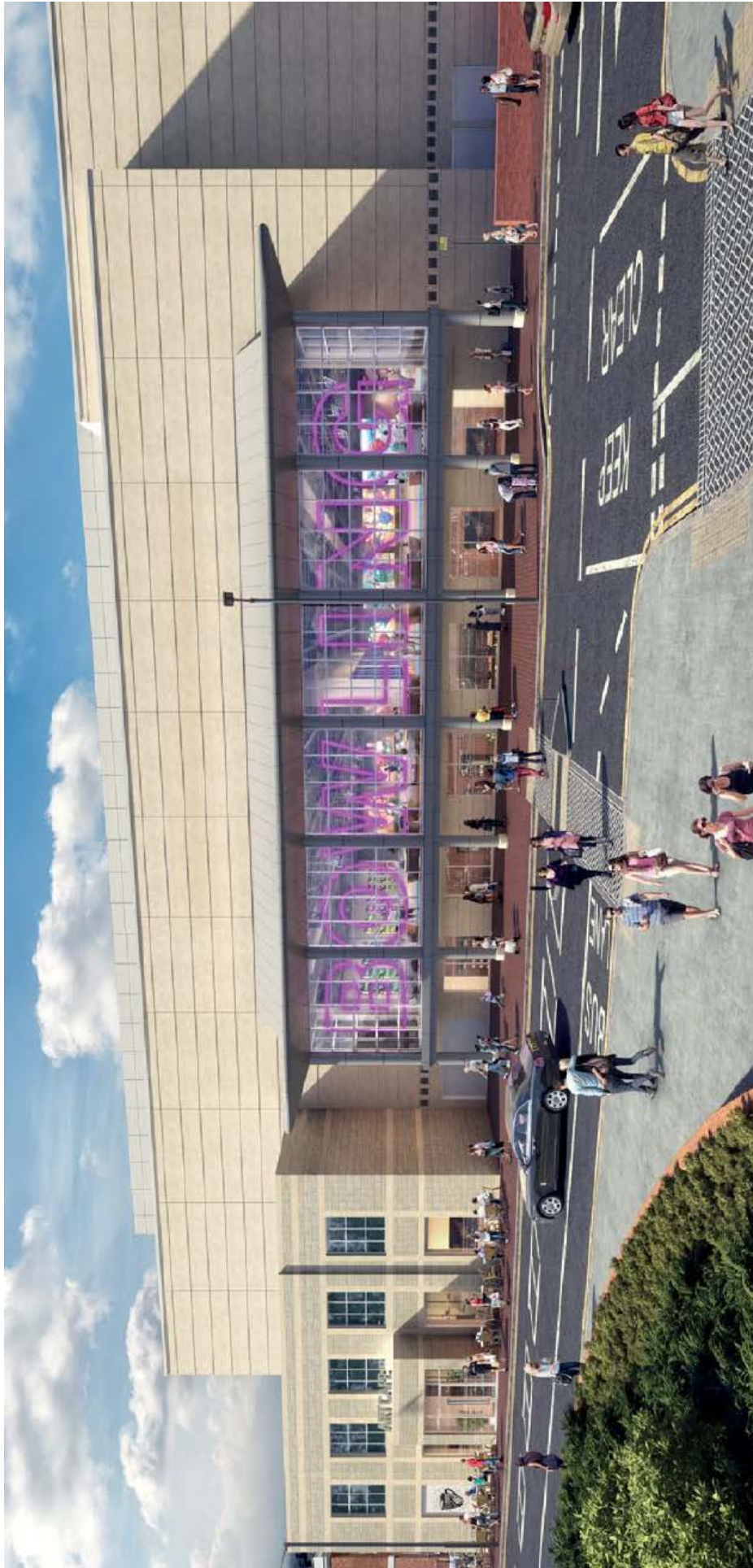


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CCI View - Riverside



◆ CCI View - Bridge Street



◆ CGI View - Riverside at night



Aerial views of the site looking north-east (above) & north-west (below)





From Bridge Street looking south



Views of Bridge Street and Riverside elevations at day and night

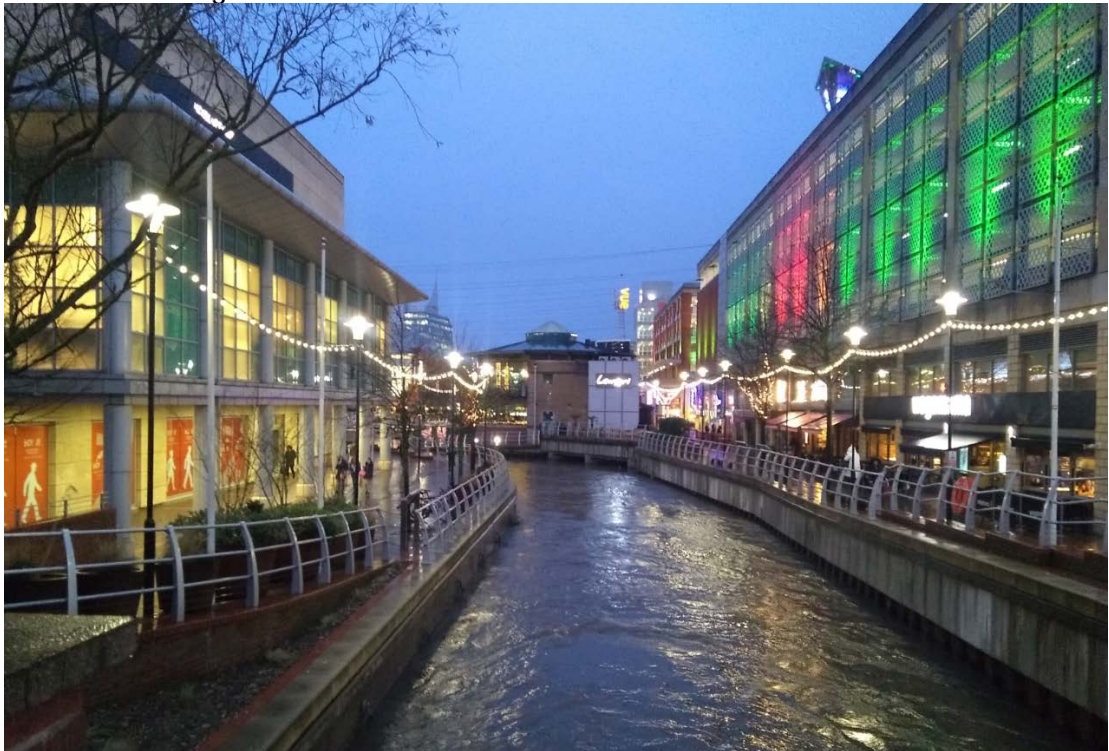




Further Bridge St / Riverside views



Riverside at night





Existing Riverside views



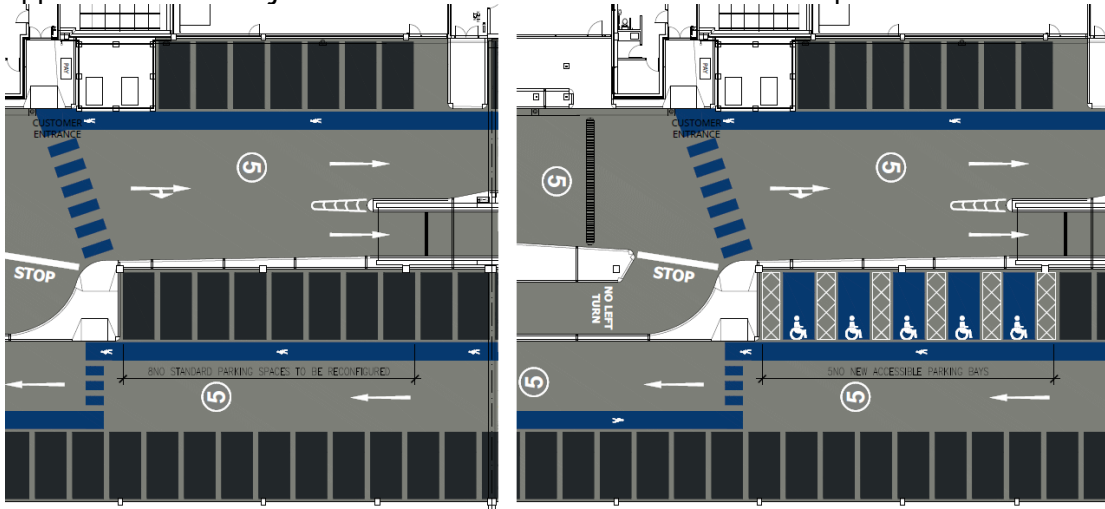
Longer Riverside context from the east





Access to House of Fraser from car park (to be removed)

The location of the disabled parking bays was amended during the course of the application to be adjacent to the main atrium/lift core on car park level 1



COMMITTEE REPORT

BY THE DIRECTOR FOR ECONOMIC GROWTH AND NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 4th March 2020

Ward: Abbey

App No: 191848/FUL

Address: Greyfriars Church, Friar Street, Reading, RG1 1EH

Proposal: Demolish Existing Church Centre, Construct New Three Storey Church Centre with Plant Enclosure on Roof and Single Storey Glazed Link at Ground Floor Level. Associated hard and Soft Landscaping and External Works

Applicant: Greyfriars Church

Agent: Bluestone Planning

Date validated: 26/11/2020

Application: 13 week target decision date: 20/3/2020

RECOMMENDATION

Grant subject to the conditions and informative listed below.

Conditions

1. Standard 3 Year Time Limit
2. Approved Plans
3. Pre-commencement materials samples (including: Cladding, all facing works, glazing for glazed link)
4. Pre-commencement details of window and door detailing (elevations, sections, and materials)
5. Pre-commencement programme for archaeological works
6. Pre-occupation implementation of noise mitigation scheme
7. Amplified music hours restricted
8. Pre-occupation implementation of mechanical plant noise mitigation scheme
9. Noise levels of plant/equipment restricted
10. Unidentified contamination
11. Pre-commencement construction method statement (including noise, dust, and methods for the control of pests)
12. Hours of working (0800 - 1800 Mon-Fri; 0800-1300 Sat; Not at all on Sundays/Public Holidays)
13. No burning of waste on-site
14. Pre-occupation provision of vehicle parking
15. Pre-occupation provision of bicycle parking
16. Pre-occupation car parking management plan
17. Arboricultural method statement to be followed
18. Pre-commencement landscaping detail to be submitted (including replacement planting)
19. Pre-occupation Landscape implementation
20. Standard landscaping maintenance condition (5 years)
21. Tree and vegetation removal not within nesting season (March-August inclusive)
22. Pre-occupation biodiversity enhancements details

23. Pre-commencement BREEAM 'Excellent' assessment Major - Interim
24. Pre-occupation BREEAM 'Excellent' assessment Major - Post Construction

Informatives

1. Building Regulations
2. Positive and Proactive
3. Ecclesiastical Exemption applies
4. Highways Act
5. Pre-commencement conditions
6. Bonfires
7. Terms and Conditions
8. CIL
9. Further Tree protection order approvals required
10. External lighting appropriately positioned to avoid nuisance to adjoining properties

1. INTRODUCTION

- 1.1 Greyfriars Church is a Grade I listed building, completed in 1311, said to be the most complete example of Franciscan-architecture in England in use as a church. Adjoining to its West and North-west sides is a 1970s extension providing entrance lobbies for the church, a lounge area, kitchen and toilets, this has recently been granted permission for a new atrium and entrance. On the north-west corner of the site, separate to the church is a 1980s extension providing a hall, meeting rooms, offices, a coffee shop and bookshop. Between these two permanent structures a temporary building provides additional office space. A separate small hall, dating from the early 1900s is located on the north side of the church.
- 1.2 This application has been brought before the Planning Applications Committee as the application is a Major development due to the proposed floor area.
- 1.3 Some works to buildings owned by religious groups or denominations in England are exempt from the provisions of The Planning (listed buildings and conservations areas) regulations (2014) by the Ecclesiastical Exemption order 2010. This includes the Church of England. The Greyfriars Church is part of the Diocese of Oxford, which is a Church of England Diocese. As such, any works to the Grade I listed building, or Grade II listed boundary wall, which would normally require listed building consent, would not in this case. The Ecclesiastical Exemption does not exempt denominations from requiring planning permissions which affects the exterior of a listed building. Reading Borough Council are required to have special regard to the desirability of preserving the structure or setting of the listed building when considering whether to grant planning permission in this instance.

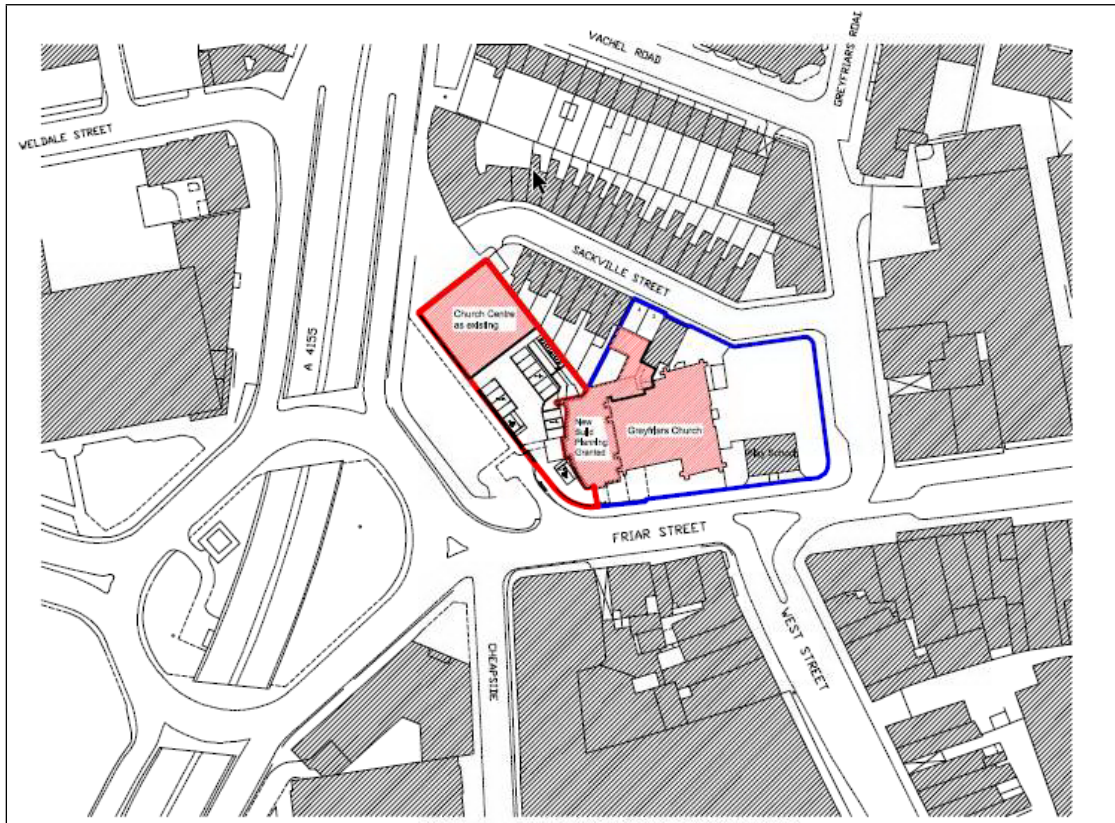


Figure 1 - Location Plan



Figure 2 - Aerial Image

2. PROPOSAL AND SUPPORTING INFORMATION

2.1 The application seeks full planning permission for:

- Demolition of the existing Church Centre
- Construct a new 3 storey Church Centre with plant enclosure on roof
- Construct single storey glazed link at ground floor level; and
- Construct associated hard and soft landscaping and external works

For clarification, as Greyfriars Church enjoys 'Ecclesiastical Exemption' under the Planning (Listed Buildings and Conservations Areas) Act 1990 (and the Ecclesiastical Exemption (Listed Buildings and Conservation Areas) (England) Order 2010). This means that Greyfriars Church would formally apply to Diocese of Oxford, which would include statutory consultations to the Local planning authority, Historic England, and the national amenity societies. The listed building consent would consider the internal works, and the means of attachment/alteration to the fabric of the listed building, whereas this application will consider the appearance, setting.

Submitted Plans and Documentation:

- GRE CENT 150.01 Existing OS Location plan
- GRE CENT 151.00 Existing site plan
- GRE CENT 152.00 Existing Ground Floor Plan - Church Centre
- GRE CENT 153.00 Existing 1st Floor Plan - Church Centre
- GRE CENT 154.00 Existing Roof Plan - Church Centre
- GRE CENT 156.00 A Existing Ground floor plan - Church & New Extension
- GRE CENT 156.01 B Existing Ground floor plan - Sackville Street
- GRE CENT 157.00 Existing Roof Plan - Church & New Extension
- GRE CENT 158.00 Existing elevations - Church Centre
- GRE CENT 159.00 Existing elevations - Church & New Extension East & West
- GRE CENT 160.00 Existing elevations - Church & New Extension North & South
- GRE CENT 161.01 Existing Sections - Sackville Street
- GRE CENT 162.00 Existing Site Section AA
- GRE CENT 163.00 Existing Sections - Church & Link -BB - CC
- GRE CENT 164.00 Existing Sections - Church & Link - AA - DD
- GRE CENT 165.00 Existing Section AA - Church Centre
- GRE CENT 166.00 Existing Section BB - Church Centre
- GRE CENT 170.01 Proposed OS Location plan
- GRE CENT 171.02 Proposed Block plan
- GRE CENT 172.01 Proposed Site plan
- GRE CENT 173.01 Proposed Floor Plan - Church Centre - Ground Floor & Middle Floor
- GRE CENT 174.01 Proposed Floor Plan - Church Centre - First Floor & Second Floor
- GRE CENT 175.03 Proposed Floor Plan - Church Centre - Roof Plan

- GRE CENT 180.04 Proposed Elevations - Church Centre
- GRE CENT 181.00 Proposed External Lighting - Church Centre
- GRE CENT 182.03 Proposed Site Section AA
- GRE CENT 185.02 Proposed Section - Church Centre - D-D
- GRE CENT 186.02 Proposed Section - Church Centre - E-E
- GRE CENT 187.02 Proposed Section - Church Centre - F-F
- GRE CENT 188.02 Proposed Section - Church Centre -G-G
- 5050 P1 Proposed Drainage Layout Option A
- 5051 P1 Proposed Drainage Layout Option B
- 4141 Proposed M & E Layout Ground Floor
- 4142 Proposed M & E Layout Gallery Floor
- 4143 Proposed M & E Layout First Floor
- 4144 Proposed M & E Layout Second Floor
- GRYFRRPA-OCT19 Root Protection Areas Plan
- GRYFRRSH-OCT19 Theoretical Shading Plan
- GRYFRTR-OCT19 Tree Crowns Plan
- GRYFRTRP-OCT19 Tree Retention & Protection Plan
- Planning Statement by Bluestone Planning dated November 2019
- Design & Access Statement by JBKS dated November 2019
- Phase 2 Acoustic report by Cole Jarman dated October 2019
- Statement of Need by Greyfriars dated April 2019
- Heritage Impact Statement by Oxford Heritage Partnership dated September 2019
- Statement of Significance by Oxford Heritage Partnership dated November 2017
- M&E Concept Design Report (including BREEAM) by Ridge Consultants dated November 2019
- Transport Statement including Travel Plan by Helix Highway Consultants dated October 2019
- Arboricultural BS5837 Report by BJ Unwin Forestry Consultancy dated October 2019
- Archaeological Desk Based Assessment by Oxford Archaeology dated November 2019
- Addendum to Archaeological Desk Based Assessment by Oxford Archaeology
- Preliminary Roost Assessment by MP Ecology October 2017
- Ecology Survey to Inform BREEAM pre-assessment by MP Ecology February 2019
- Initial BREEAM Review by Ridge Consultants October 2018
- Daylight Sunlight Report by Syntegra dated September 2017
- 3D Views - Ref. GRE- 3D views 26_09_2019

As received 19 November 2019

3. RELEVANT PLANNING HISTORY

190650/FUL - Demolition of the existing western foyer, and replacement with a larger glazed foyer area and other internal works; and single storey

rear extension to no's 2 and 4 Sackville Street to link the church to these building, and the change of use of the premise from Sui Generis (Counselling services offices) to Class D1 use (non- residential institution - public worship or religious instruction), and changes to external parking and landscaping. APPROVED AT COMMITTEE 17/7/2019

181498/PRE - Additional internal space, reconstruction of Church Centre, replacement of meeting room at west end, construction of new link to centre and reconstruction of car park together with external hard and soft landscaping to site and adjacent public realm.

172036/PRE - Additional internal space, reconstruction of church centre, replacement of meeting room at west end, construction of new link to centre and reconstruction of car park together with external hard and soft landscaping to site and adjacent public realm (approx 1047sqm).

160063/PRE - Proposed changes to the main entrance to Church.

100508/PRE - Pre-application advice for proposed development of new building

77TP962 - Change of use from residential to H.Q of Counselling and Outreach Service (2 & 4 Sackville Street) APPROVED

4. CONSULTATIONS

RBC Environmental Protection

- 4.1 Highlight issues in relation to noise arising from development, and noise from mechanical plant equipment, and noise during construction and demolition. These matters can be addressed by conditions requiring details to be submitted and approved prior to development commencing or prior to any additional mechanical plant being installed as set out above.

RBC Transport

- 4.2 Formal comments have not been received in relation to this application from transport officers. However, the previous application has been assessed and a car parking management plan agreed to be provided, as such this will also apply to this application. Details of bicycle parking to be provided on site, in an amended location to what is currently proposed, is being investigated by the applicant. These matters will be clarified in any update report.

Historic England

- 4.3 Historic England's response can be summarised as:
- The proposed building is relatively modest, particularly in comparison to nearby development and is far enough away to ensure that it does not

obscure key views or challenge the visual dominance of the west front of the Church itself;

- The materials and detailing are good enough to ensure a quality feel.

Reading Civic Society

- 4.4 No response received at the time of writing, but any response received will be reported to your meeting.

RBC Ecology

- 4.5 No objections subject to conditions as recommended above.

RBC Natural environment (trees) officer comments

- 4.6 No objections subject to conditions as detailed below.

Society for the protection of ancient buildings

- 4.7 No response at the time of writing.

Berkshire Archaeology

- 4.8 As the site is located within an area of archaeological potential, as identified on the local plan proposal map, the applicant provided a desk-based archaeological assessment. Berkshire Archaeology confirmed that the report is acceptable, and agrees that the proposal would be acceptable, subject to condition as the site lies in an area of archaeological potential, lying within the area of the Greyfriars Franciscan friary.

RBC Historic building consultant

- 4.9 The historic building consultant's comments can be summarised as:

- The current setting is not considered to be contributed to by the existing 1970s Church Centre or foyer structure;
- The proposed development to replace the building in the scale and materials is considered sympathetic and appropriate to benefit the setting of the listed building;

The historic building consultant has therefore no objections to the proposal subject to conditions.

5. Public Consultation:

- 5.1 Due to the location of the site (being adjacent to the Inner Distribution Road (IDR), and adjacent to the other church owned land, and all properties on the Southern side of Sackville Street, all properties within Sackville Street were notified by letter, and a site notice was displayed on the gate fronting Friar Street, and on a lamp post fronting the pedestrian walkway of the IDR from 27 November.

No representations had been received at the time of writing.

6. RELEVANT PLANNING POLICY AND GUIDANCE

- 6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'.
- 6.2 Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority to have special regard to the desirability of preserving a listed building or its setting or any features of special interest which it possesses.
- 6.3 Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority in the exercise of its functions to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area.
- 6.4 The following local and national planning policy and guidance is relevant to this application:

National Planning Guidance

National Planning Policy Framework (2019)

National Planning Policy Guidance 2014 onwards;

Reading Borough Local Plan 2019

- CC1: Presumption in Favour of Sustainable Development
- CC2: Sustainable Design and Construction
- CC3: Adaptation to Climate Change
- CC4: Decentralised Energy
- CC5: Waste Minimisation and Storage
- CC7: Design and the Public Realm
- CC8: Safeguarding Amenity
- CC9: Securing Infrastructure
- EN1: Protection and Enhancement of the Historic Environment
- EN2: Areas of Archaeological Significance
- EN5: Protection of Significant Views with Heritage Interest
- EN6: New Development in a Historic Context
- EN12: Biodiversity and the Green Network
- EN14: Trees, Hedges and Woodland
- EN15: Air Quality
- EN16: Pollution and Water Resources
- EN17: Noise Generating Equipment
- EN18: Flooding and Drainage
- TR1: Achieving the Transport Strategy
- TR3: Access, Traffic and Highway-Related Matters
- TR4: Cycle Routes and Facilities
- TR5: Car and Cycle Parking and Electric Vehicle Charging
- RL1: Network and Hierarchy of Centres

- OU1: New and Existing Community Facilities
- CR1: Definition of Central Reading
- CR2: Design in Central Reading
- CR4: Leisure, Culture and Tourism in Central Reading
- CR9: Terraced Housing in Central Reading

Supplementary Planning Documents

Revised parking standards and design supplementary planning document (2011)

Sustainable design and construction supplementary planning document (2019)

Employment, skills and training supplementary planning document (2013)

Planning obligations under section 106 supplementary planning document (2015)

7. APPRAISAL

The main matters to be considered are:

- Principle of development
- Design considerations and effect on the Listed Building
- Impact on residential amenity
- Design and the public realm
- Transport
- Ecology and Natural Environment
- Sustainability
- Ground conditions
- Community infrastructure levy
- Equalities impact

Principle of development

7.1 The site is located within the Reading Central Area, where the use of the church is an established community facility. Policy OU1 ‘New and Existing Community Facilities’ states that “*proposals for new, extended or improved community facilities will be acceptable, particularly where this will involve co-location of facilities on a single site*”. In addition, the NPPF (2019) encourages the efficient use of land, and the provision of social, recreational and cultural facilities (including places of worship) within appropriate location. As the site is currently used for a wide range of community uses, and associated church services, the continued use of the site and improvement which facilitate and expanded community use is welcomed and acceptable in principle, subject to the considerations below.

7.2 As mentioned above, the site is currently used by various community groups, and other functions associated with the Church. The function of the building, as associated with the Church is acceptable where the use functions as ancillary to the main use of the site as a place of worship (D1 use class) and a condition is recommended to ensure this.

Design Considerations and effect on the Listed Building

- 7.3 The main Greyfriars Church is a Grade I Listed Building and therefore of great heritage significance. The works require careful consideration as the LPA has a duty under the Planning (Listed Buildings and Conservation Areas) Act (LCBA) (as amended) to protect and enhance the significance of heritage assets and their settings.
- 7.4 Section 66(1) of the LBCA states, in the determination of applications affecting the setting of a Listed Building, states that:
- ‘in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority, or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.’*
- 7.5 Under the Planning (Listed Buildings and Conservation Areas) Act 1990, fixtures and curtilage buildings, that is any object or structure which is fixed to the building or is within the curtilage and forms part of the land and has done so since before July 1948, are also treated as part of the building for the purposes of listed building control.
- 7.6 The National Planning Policy Framework and Policy EN1 (Protection and Enhancement of the Historic Environment) of the Local Plan (2019) set out that works affecting the historic environment should seek to preserve and enhance the setting of heritage assets, including listed buildings.
- 7.7 The subject of this application is the 1981-83 Greyfriars centre (Church Centre), a brick-built structure with a sports hall, a café, a bookshop, meeting rooms and offices with toilets.
- 7.8 It is proposed to demolish the Church Centre and construct a new 3-storey Church Centre with plant enclosure on the roof, single storey glazed link at ground floor, and construction of associated hard and soft landscaping, and on-site bicycle parking. The external appearance of the building will be of a partial wedge-shaped structure, with clean elevations faced in stone and with the lower floor set back and differentiated by a strip of glazing and a glazed link connecting the building to the church. The car parking would be rationalised to include two disabled spaces (12 spaces in total).
- 7.9 It is proposed to remove the ancillary office mobile units and to re-provide this office accommodation in Nos. 2 and 4 Sackville Street. This would be joined via weatherproof link by roofing over the rear garden of No 2 Sackville Street and by rebuilding the existing rear extensions and attaching to the current access to the basement boiler room, the vestry, with access both to the adjacent 1902 Memorial Hall used as a Nursery School.

- 7.10 The proposed development has been subject to extensive pre-application discussions and refinement, including consultation with Historic England see above. Overall, the current setting is not contributed to by the existing 1970s Church Centre or foyer structure. The proposed demolition of the existing 1970s two storey Church Centre would not harm the setting of the Grade I Listed Building. Removal and replacement of the Church Centre with an appropriately scale building win sympathetic materials is therefore considered to represent a benefit to the setting of the Grade I Listed Church.
- 7.11 The form of the proposed building would follow the wedge shape of the existing building with the height increasing away from the boundary with the Sackville Street residential properties to the east. The detailed design is contemporary utilising large sections of glazing and limestone blocks or cladding with slate roofing.
- 7.12 The proposed replacement centre is considered to retain the dominance of the Grade I Listed Church and the design for the new centre incorporates appropriate high quality materials such as limestone cladding together with modern glazing and aluminium windows/doors. The design is, therefore, in contrast to the existing Church Centre is considered to enhance the setting of Listed Building. A condition is recommended to secure full details of proposed materials.

Impact on residential amenity

- 7.13 Policy CC8 aims to protect the amenity of nearby residents. In this instance, particularly in regard to loss of light and outlook. The nearest residential building are no's 12-18 Sackville Street, which are residential units. The ground and first floors all contain rear facing windows which face directly toward the development area. The proposed development would be built to a similar height at the boundary as the current building, with the majority of the mass of the building being built on the farthest side of the building (see below).

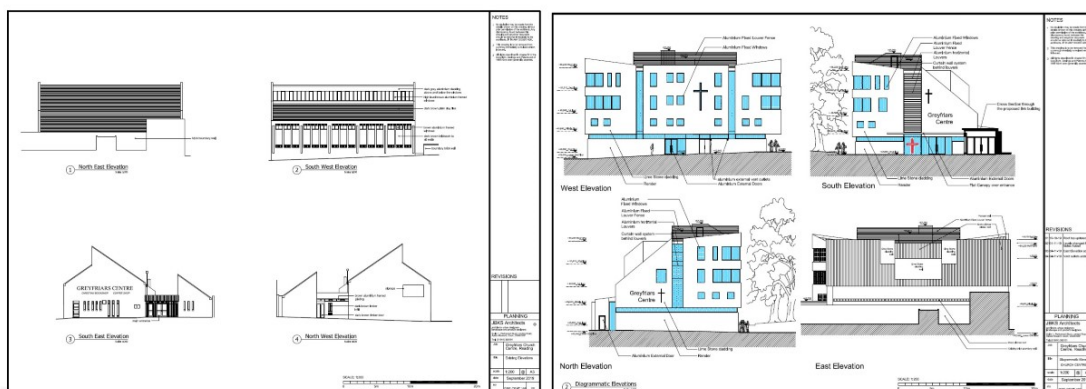


Figure 3 - Elevation side by side view

- 7.14 The proposed development, at its highest point, is located 10m from rear boundary (the shared boundary to the Sackville Street properties. The rear elevations of the Sackville Street Properties are (at the closest point) 7m to the closest windows on this elevation. The proposed design steps away from rear elevation, in addition, the roof is slopes for the majority of this view to reduce its visual bulk. Overall, the design and the distance from the adjoining residential properties would not represent an overly dominant built form, nor would the location of the proposal result in any significant loss of outlook from those residential properties. There are no windows facing Sackville Street that could result in overlooking concerns.
- 7.15 The applicant has submitted a daylight and sunlight assessment to support the application. The report demonstrates to an adequate degree that the proposed development would not have any significant detrimental impact on the access to daylight/sunlight for adjoining premises as a result of the proposal.
- 7.16 The proposed development would not cause a significant detrimental impact on the living environment of existing residents and therefore would be acceptable in this regard.

Transport

- 7.17 Full comments to be provided in an update report.

Ecology and Natural Environment

- 7.18 The proposed development will require the pruning of adjacent protected trees within the highways land. These are acceptable, and conditions will ensure this is undertaken appropriately. The loss of one tree on site as part of the development, and the atrium development will require replacement with 1 tree on site. Details on location of this will be required by condition prior to commencement.
- 7.19 In Ecology terms, the building currently does not include suitable roosting locations for bats, however the loss of vegetation on the site may be habitat for species. As such, a condition is recommended to ensure works (to remove vegetation) are undertaken with supervision of a suitably qualified Ecologist, and outside of the key nesting season. Details of ecological enhancements are recommended to be secured by condition.

Sustainability

- 7.20 The proposed development will be required to meet a BREEAM 'Excellent' standard in line with policy CC2, and the Sustainable Design and Construction SPD. This will be secured by conditions.

Ground conditions

- 7.21 The site is near an Area of Archaeological Potential, the proposed development will result in groundworks within this area. The applicant

submitted an archaeological desk-based assessment and this concluded that the below ground impacts have the potential to disturb important buried remains. Berkshire Archaeology agrees with the desk-based assessment and advise that a programme of archaeological work is required and should be secured by a suitably worded condition.

Employment Skills and Training Plan

- 7.22 The nature of the development requires that the applicant provide a suitable employment skill and training plan. The applicant has agreed this, and it shall be secured by a suitably worded condition.

Community Infrastructure Levy

- 7.23 The proposal constitutes a chargeable development however Reading Borough Council charges CIL in respect of development for “All other chargeable developments Borough wide at £0”. This also applies to proposed developments run by, or for a charitable purposes, or for a charitable institution, as identified by the applicant. As such, it is likely that if CIL were chargeable the exemption would result in a charge of £0.

Equalities Impact

- 7.24 In determining this application the Council is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, sex, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sexual orientation. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the particular planning application.
- 7.25 In terms of the key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

8. CONCLUSION

- 8.1 This proposal has been carefully considered in the context of the Reading Borough Council LDF, and supplementary planning documents. As the proposed development will improve the appearance, and setting of a listed building, and provide an improved community use, the proposed development is considered appropriate and it is recommended that approval be granted subject to the above mentioned conditions and informatives.

9. RECOMMENDATION

GRANT subject conditions

Case Officer: Anthony Scholes

10. PLANS AND PERSPECTIVES

West Elevation

- Aluminum Fixed Lower Fence
- Aluminum Fixed Windows
- Line Stone cladding
- Render
- Aluminum external vent outside
- Aluminum External Doors

South Elevation

- Aluminum Fixed Windows
- Aluminum Head Lower Fence
- Aluminum horizontal Louvers
- Curtain wall system behind louvers
- Greyfriars Centre
- Line Stone cladding
- Render
- Aluminum External Doors
- Flat Canopy over entrance

North Elevation

- Aluminum Fixed Windows
- Aluminum Fixed Lower Fence
- Aluminum horizontal Louvers
- Curtain wall system behind louvers
- Greyfriars Centre
- Aluminum External Door
- Line Stone cladding
- Render

East Elevation

- Aluminum Fixed Windows
- Aluminum Head Lower Fence
- Aluminum horizontal Louvers
- Curtain wall system behind louvers
- Greyfriars Centre
- Line Stone cladding
- Render
- Aluminum External Doors
- Flat Canopy over entrance

Cross Section through the proposed brick building

Diagrammatic Elevations

SCALE: 1:200

NOTES

1. The building is to be constructed in brick with a render finish to the exterior walls. The ground floor is to be finished with a stone cladding.
2. The building is to be finished with a stone cladding to the ground floor and a render finish to the upper floors.
3. All materials to be used in the construction of the building are to be of a high quality and to be suitable for the climate.

REVISIONS

NO.	DATE	DESCRIPTION
01	10/10/19	Issue for approval
02	10/10/19	Issue for approval
03	10/11/19	Issue for approval
04	10/11/19	Issue for approval

PLANNING

JIBKS Architects

Greyfriars Church Centre, Reading

10/11/19

12/19

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Existing Tree Schedule

Tree ID	Species
T1	Ulm
T2	Ulm
T3	Ulm
T4	Ulm
T5	Ulm
T6	Ulm
T7	Norway Maple
T8	Sweet Chestnut
T9	Ulm
T10	Ulm
T11	Ulm
T12	Laburnum
T13	Laburnum
T14	Holly
T15	Holly
T16	Silver Birch
T17	Silver Birch
T18	Sweet Birch
T19	London Plane
T20	London Plane
T21	London Plane
T22	London Plane
T23	London Plane
T24	London Plane
T25	London Plane
T26	London Plane
T27	London Plane
T28	London Plane
T29	London Plane
T30	London Plane
T31	Hornbeam

Proposed site plan

SCALE: 1:200

NOTES

1. The site plan shows the proposed layout of the New Church Centre, including the main building, a cycle shelter, and a new location for the cycle shelter.
2. The site plan shows the existing trees on the site, including the tree schedule.
3. The site plan shows the surrounding streets, including Sackville Street.

REVISIONS

NO.	DATE	DESCRIPTION
01	10/10/19	Issue for approval

PLANNING

JIBKS Architects

Greyfriars Church Centre, Reading

10/11/19

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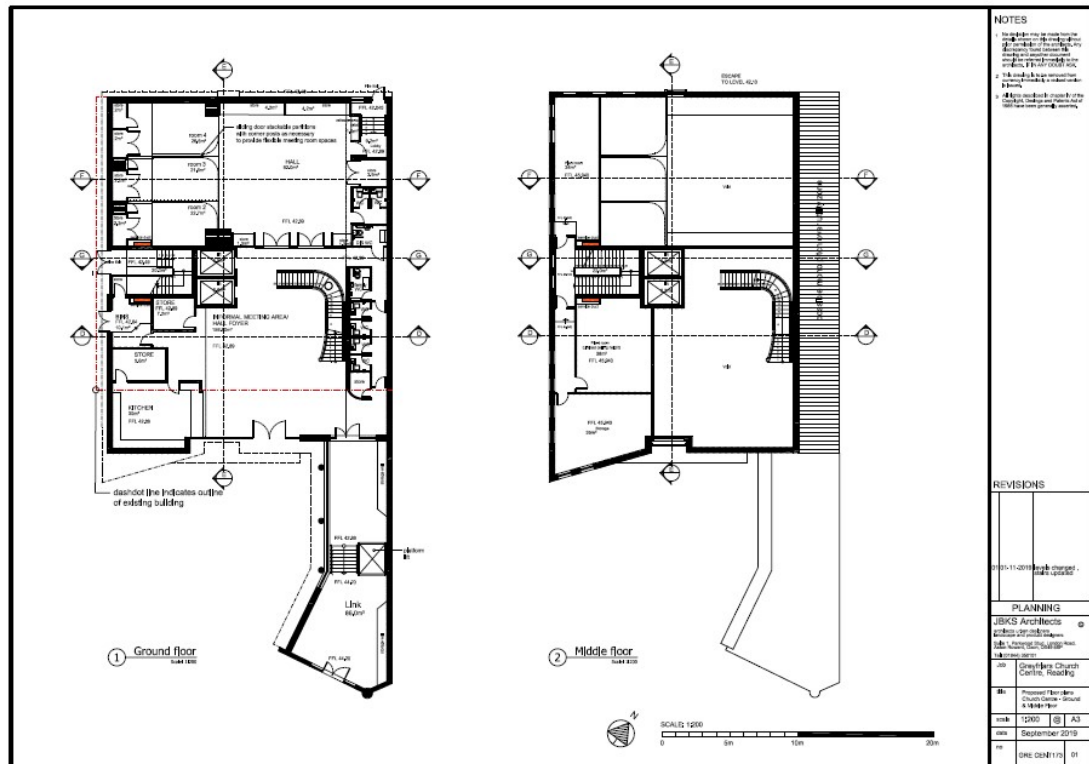
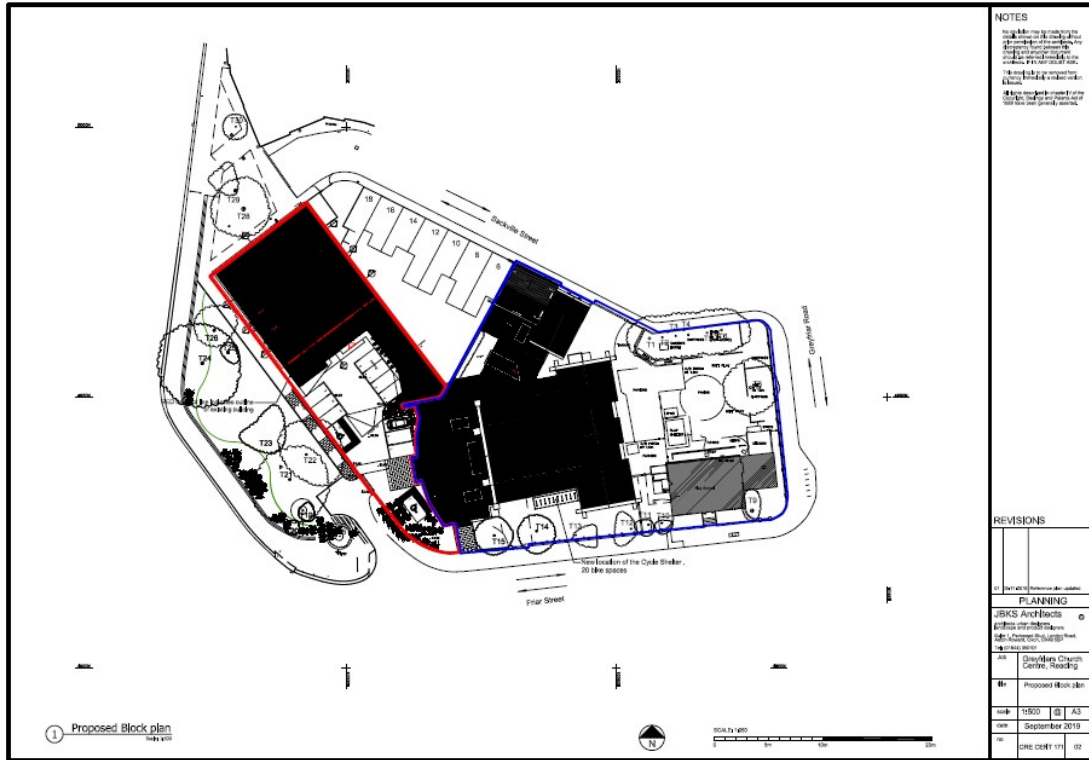
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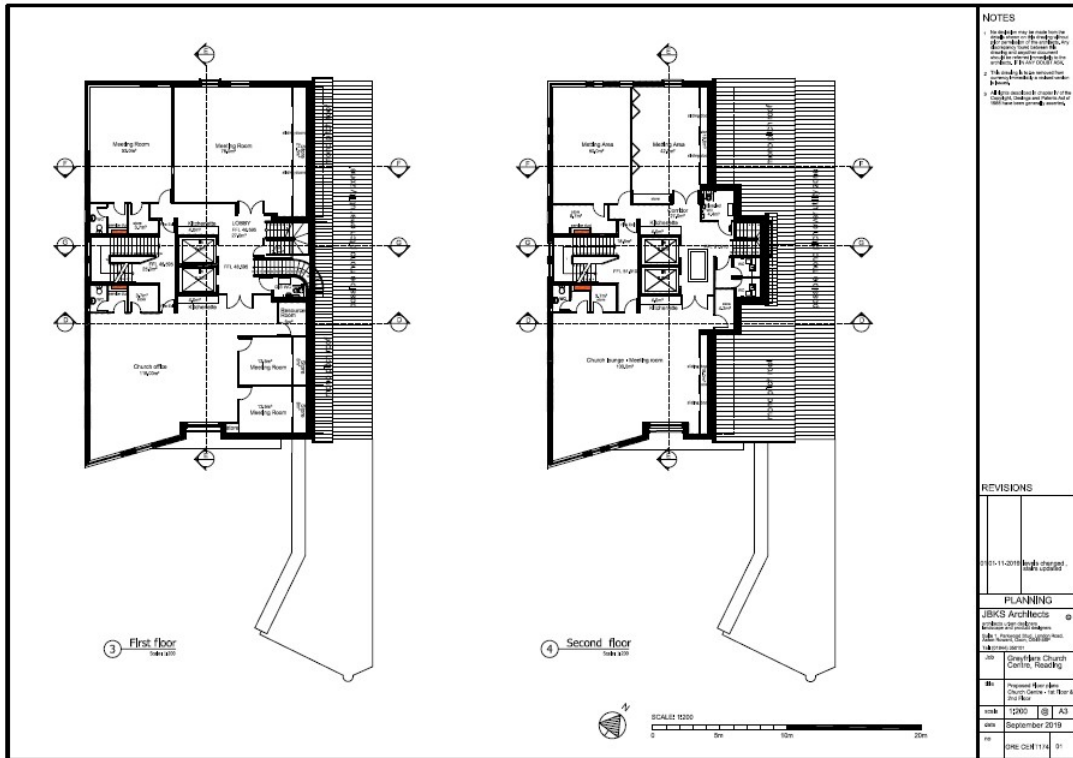
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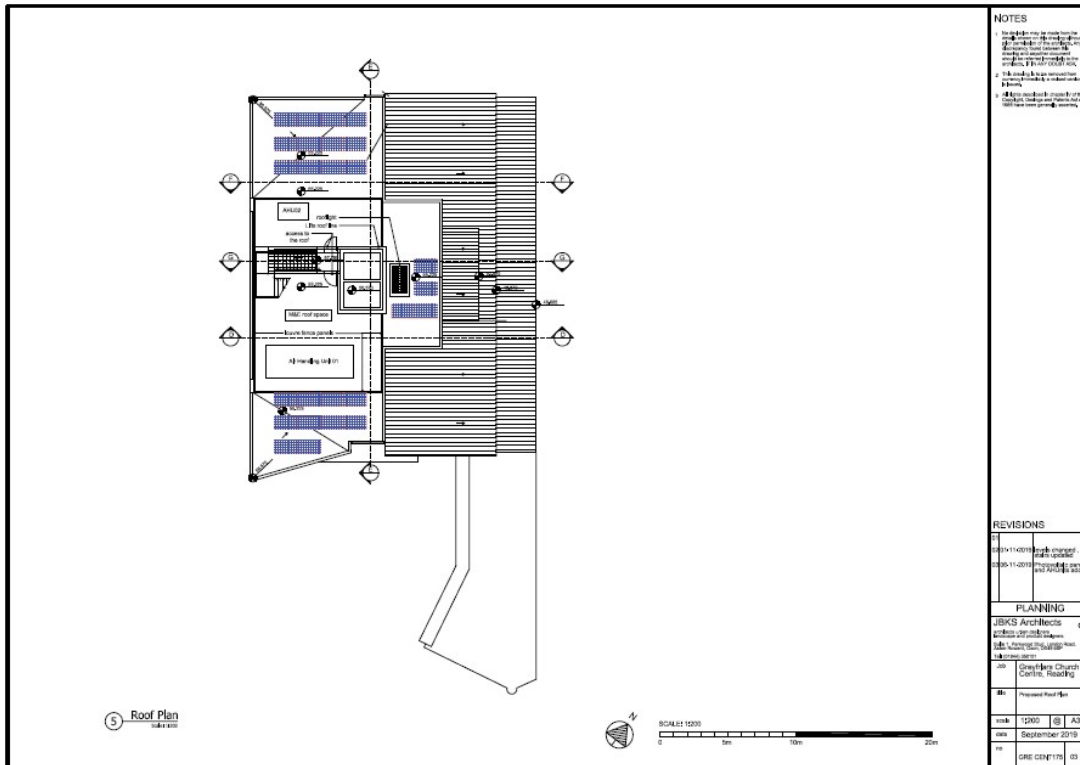




NOTES

1. All dimensions are in millimeters unless otherwise stated.
2. All dimensions are to the centerline of walls unless otherwise stated.
3. All dimensions are to the face of walls unless otherwise stated.
4. All dimensions are to the centerline of columns unless otherwise stated.

REVISIONS	
01/11/2019	Issue changed from 01/11/2019
PLANNING	
JBK&S Architects 100-1000 200th Street Suite 1000, Surrey, BC V4A 4A9 Tel: 604-273-1111 Fax: 604-273-1112 www.jbks.com	
Job	Greyfriars Church Centre, Reading
By	Proposed Floor Plan Church Office - 1st Floor & 2nd Floor
Scale	1:200 @ A3
Date	September 2019
Rev	01/11/19 01



NOTES

1. All dimensions are in millimeters unless otherwise stated.
2. All dimensions are to the centerline of walls unless otherwise stated.
3. All dimensions are to the face of walls unless otherwise stated.
4. All dimensions are to the centerline of columns unless otherwise stated.

REVISIONS	
01/11/2019	Issue changed from 01/11/2019
02/05/2019	Issue changed from 01/11/2019
PLANNING	
JBK&S Architects 100-1000 200th Street Suite 1000, Surrey, BC V4A 4A9 Tel: 604-273-1111 Fax: 604-273-1112 www.jbks.com	
Job	Greyfriars Church Centre, Reading
By	Proposed Roof Plan
Scale	1:200 @ A3
Date	September 2019
Rev	02/05/19 03





COMMITTEE REPORT

BY THE DIRECTOR OF ECONOMIC GROWTH & NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 4 March 2020

Ward: Abbey

App No.: 191924/FUL

Address: 26-30 Swansea Road and 28-32 Northfield Road, Reading, RG1 8AH

Proposal: Full planning application for the demolition of the existing 2-bedroom dwelling and garages, and erection of nine dwellings, including eight three-bedroom houses and one three-bedroom coach house, with access and parking from Swansea Road, and associated landscaping.

Applicant: Elstree Land and Sovereign Housing Association

Deadline: 20/03/2020

RECOMMENDATION:

Delegate to Head of Planning, Development and Regulatory Services to (i) GRANT full planning permission subject to completion of a Section 106 legal agreement or (ii) to REFUSE permission should the legal agreement not be completed by the 20th March 2020 (unless the planning officer, on behalf of the Head of Planning, Development and Regulatory Services agrees to a later date for completion of the legal agreement). The legal agreement to secure the following:

Where Grant Funding is not obtained and used to deliver the Development as Affordable Housing the developer shall observe and perform either one of the following obligations:

- £306,577 towards the provision of affordable housing elsewhere within the Borough
- Or
- a minimum of 20% of the units (2 units) as affordable housing

£18,800 contribution towards additional leisure facilities within the locality

Conditions and Informatives as on the previous report (appended):

1. Background

1.1 This application was considered at the February Planning Applications Committee when Members resolved to grant permission subject to a S106 agreement to secure 100% affordable housing on-site with the tenure to be all shared ownership, as set out in the original report on the agenda.

1.2 However as this was not as advised in the Update report or at the meeting officers were asked to provide a fuller explanation for the recommended decision given in the Update report. Officers have also been in further discussions with the applicant over their proposal. The rest of this report therefore seeks to clarify what can be secured by a S106 agreement and how the applicant intends to develop the site with affordable housing.

2. S106 agreements

2.1 Firstly, a S106 agreement can only secure what is reasonably required to make a development acceptable in planning terms. Section 122 of

community infrastructure levy regulations 2010, specifically limits the use of planning obligations (Section 106 agreements). The regulations state:

A planning obligation may only constitute a reason for granting planning permission for the development if the obligation is—

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

- 2.2 Officers have relied on what is reasonably required by the Reading Borough Local Plan. In this instance, the development is for 8 additional dwellings (a total of 9). Policy H3 of the Local Plan states that on sites of 5-9 dwellings, a financial contribution equivalent to 20% of the housing should be provided to go towards affordable housing elsewhere in the Borough. In this case there were no material considerations (such as if the proposal conflicted with another policy in the Local Plan or it being a site where residential use would not normally be supported) to require a higher % of affordable housing to be secured “to make the development acceptable in planning terms”. As such, seeking to secure 100% of the units as affordable housing would fail test (a) and also (c) as asking for all of the dwellings would not be fairly and reasonably related to the scale of the development.

3. The Applicant’s intentions

- 3.1 Members were aware that the intention of the applicant is to provide all 9 dwellings as affordable housing and this is why the resolution to secure 100% of the dwellings as affordable was taken. However, the applicant has since confirmed that the terms set out in the S106 agreement is an important factor for them if they are to secure grant funding from Homes England. The terms as set out above are as agreed by the applicant who has explained:

“The grant cannot be used to deliver affordable homes secured by s106 legal agreements and therefore must be used on homes which would otherwise be constructed and sold on the open housing market.

For Swansea Road, the grant funding will be used to deliver the proposed development on the site as 100% affordable housing, converting it from private open market housing and therefore delivering additional affordable homes through the planning system.

The Homes England funding rules is that there is an absolute requirement that there cannot be any restrictions on the eligibility of shared ownership buyers linked to local connection.

- 3.2 It is understood that the applicant’s intention is to offer all 9 units for shared ownership. While this form of tenure does not meet the Council’s preference for affordable rented homes these 3 bedroom units will still be a welcomed contribution to the stock of affordable housing in the Borough. Housing officers have confirmed that they are satisfied that the provision of shared ownership in this instance is acceptable.

4. Conclusion

- 4.1 For permission to be granted for the proposed residential development it needs to comply with Local Plan policies, including H3 which requires an off-site financial contribution towards providing affordable housing elsewhere in the Borough. For this proposal the contribution has been calculated to be £306,577 and this is the minimum that we should secure by the S106.
- 4.2 The applicant has indicated that they would like to provide affordable housing on site and the equivalent on site provision would be 2 dwellings so this option should also be secured by the S106 as an alternative way to comply with policy.
- 4.3 However, as confirmed by the applicant, to benefit from grant funding they need to demonstrate to Homes England how they are 'flipping' unrestricted market housing to affordable housing. Therefore, by requiring that the S106 restricts all of the new dwellings to be affordable, as previously resolved by Committee, the scheme would become ineligible for grant funding.
- 4.4 It remains your officer's advice, to achieve the best affordable housing offer for this site, that you change your resolution to allow permission to be granted subject to a S106 agreement securing the terms as set out above.

BY THE DIRECTOR OF ECONOMIC GROWTH & NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 5 February 2020

ITEM NO.8

Ward: Abbey

App No.: 191924/FUL

Address: 26-30 Swansea Road and 28-32 Northfield Road, Reading, RG1 8AH

Proposal: Full planning application for the demolition of the existing 2-bedroom dwelling and garages, and erection of nine dwellings, including eight three-bedroom houses and one three-bedroom coach house, with access and parking from Swansea Road, and associated landscaping.

Applicant: Elstree Land and Sovereign Housing Association

Deadline: 04/02/2020

RECOMMENDATION:

Delegate to Head of Planning, Development and Regulatory Services to (i) GRANT full planning permission subject to completion of a section 106 legal agreement or (ii) to REFUSE permission should the legal agreement not be completed by the 30th February 2020 (unless the planning officer, on behalf of the Head of Planning, Development and Regulatory Services agrees to a later date for completion of the legal agreement). The legal agreement to secure the following:

- £306,577 towards the provision of affordable housing elsewhere within the Borough
- Or
- Provide 100% of the units as shared ownership housing
- And
- £18,800 contribution towards additional leisure facilities within the locality

Conditions to include:

1. Time Limit - 3 years
2. Approved plans
3. Pre-commencement details of all external materials (including brickwork, roofing materials, glazing and reveals, chimneys, doors, guttering and downpipes)
4. Pre-commencement construction method statement (including noise & dust)
5. Pre-occupation provision of bin storage facility details
6. Pre-occupation implementation of cycle parking details provided
7. Pre-occupation notification of postal addresses (restricting parking permits)
8. No automatic entitlement to parking permits
9. Parking permit condition 2
10. Submission of security strategy and implementation before first occupation
11. Implementation of flood resilience, as set out in submitted Flood Risk Assessment
12. No development before implementation of approved remediation scheme
13. Reporting of Unidentified contamination
14. Construction hours (0800-1800 Mon-Fri; 0800-1300 Saturday; No work on Sunday/Bank holidays).
15. Implementation and retention of noise mitigation scheme
16. Pre-commencement hard and soft landscaping details (including biodiversity enhancements) and implementation
17. Demolition supervision by Ecologist
18. Remove PD rights for roof alterations (GPDO Parts B and C)
19. Pre-commencement SAP assessment - To be approved (new-build)

20. Pre-occupation SAP assessment (new-build)

Informatives:

1. Positive and Proactive Statement
2. Highways informatives
3. Terms and conditions
4. Building Control
5. Party Wall Act
6. Contaminated land - reporting of unexpected contamination
7. Noise Transmission between residential properties (Building Regulations part E)
8. CIL
9. No burning of waste on site
10. Unilateral Undertaking Legal Agreement
11. No parking permits informative

1. INTRODUCTION

- 1.1 The application site comprises 0.29 hectares, a corner plot at the junction of Northfield Road and Swansea Road and consists of a two storey end of terrace dwelling with undercroft access on Swansea Road and a series of garages fronting Northfield Road which have historically been used for car repairs and as an MOT centre. There is a small yard area to the rear of the garages with an existing vehicular access from Swansea Road. The surrounding area predominantly consists of modest two storey terraced dwellings. To the east of the site along Northfield Road at the junction with Caversham Road is a large self-storage unit (Shurgard).
- 1.2 The site is located within the Reading Central Area as defined by the Proposals Maps (2019) and is also with flood zone 2 and an air quality management area. Northfield Road is a designated cyclerooute.

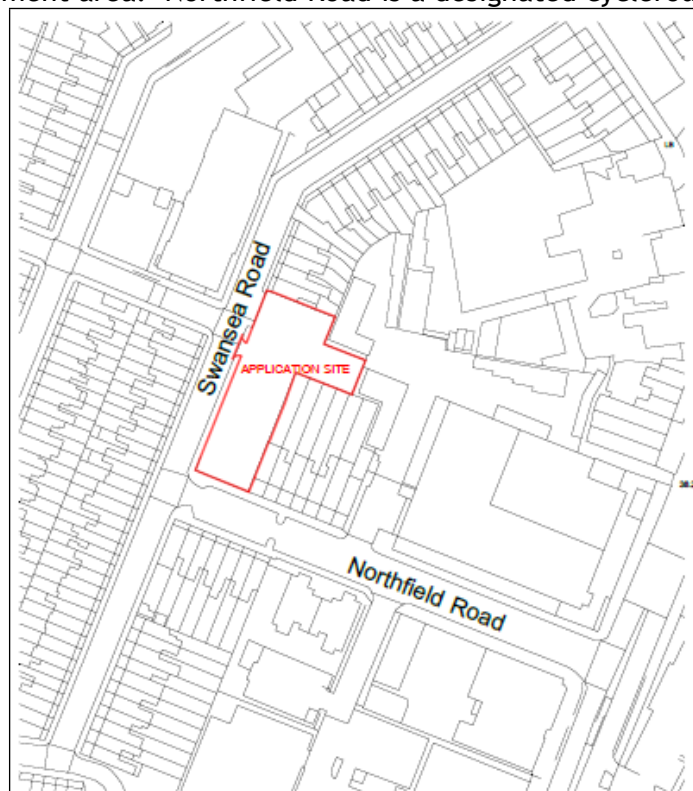


Figure 1 - Site Location Plan

2 PROPOSAL

2.1 The proposal is for the demolition of the existing two storey dwelling and garages and erection of 8 x two storey terrace dwellings with rooms in the roof space and 1 x two storey coach house with rooms in the roof space with parking and access from Swansea Road.

2.2 Submitted Plans and Documentation:

Flood Risk Assessment Odyssey November 2019
Sequential Test Savills November 2019
Air Quality Assessment Syntegra Consulting November 2019
Geo-Environmental Report Enzygo October 2019
Noise Assessment Cass Allen November 2019
Bat Roost Assessment Aspect Ecology October 2019
Affordable Housing Statement November 2019
051901-EL-01 Presentation Planning Layout
051901-EL-02 Supporting Planning Layout
051901-EL-03 Location Plan
051901-SS01 Street Scene 01
051901-SS02 Street Scene 02
051901-GS Garden Scene
051901-A-E1 House Type A - Proposed Elevations
051901-A-E2 House Type A - Proposed Elevations
051901-A-P1 House Type A - Proposed Floor Plans
051901-B-E1 House Type B - Proposed Elevations
051901-B-P1 House Type B - Proposed Floor Plans
051901-C-E1 House Type C - Proposed Elevations
051901-C-P1 House Type C - Proposed Floor Plans
051901-CS-01 Cycle Shed
7062 / ASP3 Landscape Strategy Plan B
34824_T Topographical Survey
As received 4 December 2019

051901-SS01 Street Scene 01 - Rev A
051901-SS02 Street Scene 02 - Rev A
051901-B-E1 House Type B - Proposed Elevations - Rev A
051901-B-E1 House Type B - Proposed Elevations - Rev A
051901-C-E1 House Type C - Proposed Elevations - Rev A
As Received 24 January 2020

2.3 Community Infrastructure levy (CIL):
In relation to the community infrastructure levy, the applicant has duly completed a CIL liability form with the submission. However, there are currently discussions with the applicant regarding the final CIL Liability calculation and further commentary will be provided in the update Report

3 PLANNING HISTORY

3.3 None, although pre-application advice from the Local Planning Authority was sought before submission of the planning application.

4 CONSULTATIONS

Internal

- 4.3 RBC Ecologist - No objections, subject to conditions.
- 4.4 RBC Waste management officer- The proposed development would provide adequate bin store for the number of flats. Residents would be responsible for moving the bins out for collection days.
- 4.5 RBC Natural Environment Officer - No objection subject to conditions to ensure appropriate landscaping.
- 4.6 RBC Environmental Protection Officer - No objections subject to conditions.
- 4.7 RBC Transport Officer - comments awaited, response to be provided in the Update report.

4.8 Public

26 Northfield Road, Reading, RG1 8AH
 47 Swansea Road, Reading, Berkshire, RG1 8EZ
 13 Northfield Road, Reading, RG1 8AH
 63 Swansea Road, Reading, Berkshire, RG1 8EZ
 14 Northfield Road, Reading, Berkshire, RG1 8AH
 20 Northfield Road, Reading, Berkshire, RG1 8AH
 16 Northfield Road, Reading, RG1 8AH
 65 Swansea Road, Reading, Berkshire, RG1 8EZ
 45 Swansea Road, Reading, RG1 8EZ
 49 Swansea Road, Reading, RG1 8EZ

- 4.6 One comment has been received, objecting to the façade treatments for the proposed dwellings.
- 4.9 Four comments have been received in support of the redevelopment of the site, with one comment suggesting the re-use of the building as a café.

5 RELEVANT PLANNING POLICY AND GUIDANCE

- 5.3 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy Framework (NPPF) which states at Paragraph 11 “Plans and decisions should apply a presumption in favour of sustainable development”.

5.4 Reading Borough Local Plan (November 2019):

CC1: Presumption in Favour of Sustainable Development
 CC2: Sustainable Design and Construction
 CC3: Adaptation to Climate Change
 CC5: Waste Minimisation and Storage
 CC6: Accessibility and the Intensity of Development
 CC7: Design and the Public Realm
 CC8: Safeguarding Amenity
 CC9: Securing Infrastructure
 EN1: Protection and enhancement of the historic environment
 EN10: Access to Open Space
 EN12: Biodiversity and the Green Network

EN14: Trees, Hedges and Woodland
EN15: Air Quality
EN16: Pollution and Water Resources
EN18: Flooding and Drainage
EM3: Loss of Employment Land
H1: Provision of Housing
H2: Density and Mix
H3: Affordable Housing
H5: Standards for New Housing
H10: Private and Communal Outdoor Space
TR1: Achieving the Transport Strategy
TR3: Access, Traffic and Highway-Related Matters
TR5: Car and Cycle Parking and Electric Vehicle Charging
CR1: Definition of Central Reading
CR2: Design in Central Reading
CR6: Living in Central Reading

Relevant Supplementary Planning Documents (SPD) are:
Affordable Housing (2013)
Revised Parking Standards and Design (2011)
Planning Obligations Under Section 106 (2015)
Sustainable Design and Construction (2019)

6 APPRAISAL

The main issues to be considered are:

- Principle of development
- Flood Risk
- Impact on surrounding and future occupiers
- Standard of Residential Accommodation
- Mix of units
- Transport
- Landscape/ecology
- Affordable Housing
- Other Matters
- Equalities impact

Principle of development

6.3 The site is not located within a designated core employment area and therefore there would be no in principle objection to loss of the existing vehicle repair and MOT use. Moreover, the site is predominantly surrounded by residential dwellings and therefore loss of this use is likely to be beneficial to the amenity of existing nearby occupiers in terms of removal of a source of potential noise and disturbance.

6.4 The existing building fronting Northfield Road to be demolished, is in a state of disrepair and although reflective of the character of the area, the building is not considered to have any particular distinctive architectural merit. The commercial building fronting Swansea Road is prominent within the street, being built up to the boundary of the pavement, and appears to be better maintained than the other buildings on the site. Further, there are no specific protections afforded to these structures, as such the loss of such there would be no objection to their removal, subject to the proposed replacement

buildings being of good design quality and contributing positively to the character of the area.

- 6.5 The principle of a residential development on the site is considered to accord with Policy CC6 (Accessibility and Intensity of Development) whilst the proposal would align with the broad objectives of Policy H1 (Provision of Housing).

Flood Risk

- 6.6 The site is located within flood zone 2 and the NPPF (2019) defines residential dwellings as a 'more vulnerable' development in terms of flood risk. The NPPF sets out that 'more vulnerable' development in flood zone 2 is required to undertake that it passes the flood risk sequential test. In addition, Policy EN18 (Flooding and Drainage) sets out that planning permission will not be granted for development that would increase risks arising from flooding.

- 6.7 The sequential test seeks to steer new development to areas with the lowest probability of flooding. The aim is to steer new development to Flood Zone 1 (areas with a low probability of river or sea flooding). Where there are no reasonably available sites in Flood Zone 1, local planning authorities in their decision-making should take into account the flood risk vulnerability of land uses and consider reasonably available sites in Flood Zone 2 (areas with a medium probability of river or sea flooding). Only where there are no reasonably available sites in Flood Zones 1 should the suitability of sites in Flood Zone 2 be considered, taking into account the flood risk vulnerability of land uses and applying the Exception Test if required.

- 6.8 The Council's latest 'Housing and Economic Land Availability Assessment' (May 2017) notes that, 'there are not sufficient sites to meet the objectively assessed need for housing in Reading on sites in Flood Zones 1 and 2'. Therefore, subject to a detailed sequential test assessment being submitted as part of any application. The onus is on the applicant to present a detailed sequential test for any development (where applicable) and demonstrate the case to the local planning authority. The sequential test area would include land within the whole of the Borough.

- 6.9 Residential development is classified as 'more vulnerable' in national policy. In accordance with the NPPF, 'more vulnerable' development in flood zone 2 is not required to undertake the exception test.

- 6.10 The applicant has provided a site-specific flood risk assessment which outlines a number of requirements to ensure the flood resilience of the proposed dwellings (i.e. higher electrical sockets, flood resistant external materials). Additionally, the applicant has undertaken a sequential test in line with Government guidance and has demonstrated that there are no sequentially preferable sites for the proposed development. A condition is recommended to ensure flood resistance measures are carried out as specified in the accompanying flood risk assessment.

Design Considerations and effect on character

- 6.11 Policy CC7 (Design and the Public Realm) seeks that development proposals should maintain or enhance the character of the surrounding area and Policy CR5 (Design in Central Reading) seeks to create appropriate relationships between buildings and spaces.

- 6.12 The proposed continuation of the terraced form of development to both the Northfield Road and Swansea Road frontages is considered appropriate and

would integrate well with the surrounding area. Whilst the proposed plot sizes are small and narrow, this is in keeping with the character and urban grain of the surrounding area and is considered appropriate in this location. In extending the existing terrace, the proposal would also maintain the existing uniform building line and roof pitch/profile alignment which is considered important to the character of these Victorian/Edwardian terraced streets. The elevational drawings (revised during the consideration of the application) indicate a good level of architectural detailing to the front elevations, with the window and door surrounds, including lintel details, brick detailing, 'chimneys' and careful use of materials to match surrounding dwellings to tie in to the traditional architecture of the area.

- 6.13 The proposal also includes sizeable flat roof dormers in the main roof slope of the dwellings adjoining the two-storey attached projections. The scale of these dormer projections would take up most of the rear roof slope. Whilst not normally a design solution suggested in the Council's House Extensions SPG, in this case this is considered to be an appropriate design solution to facilitate the large 3-bedroom units and it should also prevent the opportunity for any future piecemeal dormer extensions. It is considered appropriate to remove the future pd rights to further extend the roofs of these dwellings.
- 6.14 The form of the proposed coach house (a dwelling with vehicular access underneath) is also considered to be in keeping with the area as such arrangements are commonly found in these terraced streets. The proposed brick boundary wall and metal entrance gates to the Swansea Road frontage are also considered to suitably link together this part of the street-scene. The proposals utilise the irregular shape of the site well to provide off-street parking to the rear hidden from view from the street frontages.
- 6.15 Policy H10 Private and Communal Outdoor Space seeks that proposals for residential development are provided with small but adequately usable private or communal amenity space in keeping with the character of similar spaces in the surrounding area. As such, the proposal is considered to be acceptable in this regard.
- 6.16 The applicant has considered the security implications of an open vehicle accessway to the rear courtyard. Concerns are with unregulated parking and unauthorised trespass. This matter is considered to be capable of being dealt with by a suitably-worded security condition to meet the concerns of Policy CC7.

Impact on surrounding and future occupiers

- 6.17 Policy CC8 seeks to protect the amenity of surrounding occupiers whilst Policy EN16 seeks to ensure development is not harmful in terms of pollution.
- 6.18 The siting and orientation of the dwellings are considered to prevent any undue overlooking or loss of privacy to surrounding occupiers. The closest relationship would be from the rear windows of the properties on Northfield Avenue to the upper floors of the coach house which would be situated 10m to the side of the rear garden of the existing dwelling at no. 26 Swansea Road. This separation is considered sufficient, given this would be a side-on relationship and would affect only the end part of the adjacent property's rear garden.
- 6.19 The siting and orientation of the building is considered such that there would be limited impact on existing surrounding properties in terms of any loss of light or overbearing.

- 6.20 The proposed private parking court is considered to be located a suitable distance from existing dwellings such that noise and disturbance from cars coming and going would be limited and visually, less intrusive than the high levels of on-street parking that currently takes place on surrounding streets.
- 6.21 A construction method statement would be sought, to include measures for control of noise and dust to ensure existing surrounding occupiers would not be adversely affected by the proposed development during construction works.
- 6.22 Policies CC8 (Safeguarding Amenity) and CR6 (Living in Central Reading) seek that future occupiers are provided with a suitable standard of amenity. Policy EN16 (Pollution and Water Resources) seeks that future occupiers are adequately protected from the impacts of pollution. EN15 (Air Quality) sets out that given the site is located within an air quality management area and would introduce a sensitive use (i.e residential) any detrimental effects on that use must be mitigated. The applicant has submitted supporting evidence that has been reviewed by the Council's Environmental Protection Officer. The report concludes that no additional measures are required for air quality mitigation in this instance due to the distance of the proposed dwellings from Caversham Road and the EP officer agrees with this view. A condition is recommended for the implementation of the approved noise mitigation measures.
- 6.23 The proposals are considered to provide for a suitable standard of accommodation with all units being of adequate size and served by good levels of outlook and daylighting. Policy H5 of the Local Plan requires that all new-build housing outside the town centre be built to meet the Nationally described space standards. The proposed development would comply with these requirements, although the site itself is within the Central Area, where these standards do not apply.
- 6.24 The development also lies on the site of a historic warehouse which has the potential to have caused contamination and the proposed residential development is considered a sensitive land use in this respect. The Environmental Protection Officer has reviewed the supporting documentation and the remediation of the site has been agreed and can be secured by condition.

Mix of units

- 6.25 Policy H2 (Density and Mix) states that developments should provide an appropriate range of housing opportunities in terms of a mix of housing types and sizes, ideally a mixture of one, two and three bedroom units. Although the proposal is for 9 three-bedroom dwellings, the Strategic Housing Market Assessment (SHMA) (2016) carried out by the Berkshire Planning Authorities outlines the greatest need for housing within Berkshire (including South Bucks) being for 3-bedroom houses (42% of the need to 2036). As such, the proposal is considered acceptable in this regard.

Transport

- 6.26 Policies TR1 and TR3 of the Local Plan seek to address access, traffic, highway and parking relates matters relating to development. At the time of writing, a formal Transport response is awaited and any further clarifications shall be provided in the Update Report.
- 6.27 In terms of the adopted Parking Standards and Design SPD, Swansea Road and

Northfield Road are within Zone 2 of the primary core area, but on the periphery of the Central core area which lies at the heart of Reading Borough, consisting primarily of retail and commercial office developments with good transport hubs.

- 6.28 In accordance with the Parking Standards and Design SPD, the development would be required to provide parking provision of 2 parking spaces each for the 3 bedroom dwellings. Therefore, the required total parking provision for the development would be 17 spaces. Only 9 parking spaces are to be provided, which falls significantly below the Council's current parking SPD requirements, however given the site's close proximity to the town centre and Reading Station, a lower provision is considered acceptable.
- 6.29 Only one access point to the site will be retained from Swansea Road, therefore all other access(es) will need to be closed up and kerbs realigned with the public footway. The proposed access is suitable for 2-way traffic entering and exiting the site, and appears to meet the appropriate standards for visibility. An informative is recommended to ensure the 'historic accesses' (including those with cobbled paving) are reprovided/evident in the eventual design and clarification on this matter will be provided in the Update report.
- 6.30 Any permission would need to be subject to a condition preventing future occupiers of the development from being eligible to apply for residents or visitor parking permits. The applicant has agreed to a condition to secure the appropriate number of on-site electric vehicle charging points in accordance with Policy TR5. In line with the Council's adopted Parking Standards and Design SPD, each dwelling is provided with 2 secure cycle parking spaces in a secure and covered location. The bicycle storage as shown on the plans will be secured by condition. Bin storage should also be identified on the proposed plans and should not be further than 15m from the access point of the site to avoid the stationing of service vehicles on the carriageway for excessive periods. The Transport response will confirm/update these matters and advise on policy compliance.

Landscaping/Ecology

- 6.31 Policy CC7 (Design and the Public Realm) seeks that development should contribute positively to the area of Reading within which it is located, including by way of landscaping. Policy EN14 (Trees, Hedges and Woodland) seeks to protect the Borough's vegetation cover from damage or removal and sets out that new development shall make provision for tree planting. Policy EN12 (Biodiversity and the Green Network) states that development proposals should retain, protect and incorporate features of biodiversity.
- 6.32 The application site is a dense urban location, within an area of the Borough identified as having a tree canopy cover of 10% or less in the Council's adopted Tree Strategy. There are no existing tree or landscape features on the site of any note, such as would be a constraint of the development of the site or worthy of retention in its redevelopment. The inclusion of new areas of soft landscaping are welcomed, although there is limited space in the site for substantial tree planting.
- 6.33 Given the proposal would involve demolition of a number of buildings, some of which are in a poor state of repair, a bat survey has been undertaken. The conclusions of this report are that the building may host suitable habitat for bats, and that oversight by a trained ecologist is required during its demolition, and this has been approved by the Council's Ecologist. A condition is

recommended to ensure works are carried out with supervision of a suitably qualified ecologist, and that biodiversity enhancements (i.e. bat boxes) are integrated in the development.

Sustainability

- 6.34 Policy H5 (Standards for New Housing) states that new build housing will achieve at a minimum a 19% improvement in the dwelling emission rate over the target emission rate, as defined in the 2013 Building Regulations. In addition, this policy sets a higher water efficiency standard for all new dwellings. These requirements will be secured by condition.

Affordable Housing

- 6.35 In accordance with Policy H3 (Affordable Housing) the proposed development, being for 8 additional dwellings units, would be liable for a contribution towards affordable housing of £306,577.
- 6.36 At this time, the applicant has proposed to enter into a section 106 agreement for the provision of the units as 'shared ownership' (an affordable housing tenure) **OR** to pay the above financial contribution. The Local Plan sets a target of 70% affordable rent, and 30% shared ownership units to be provided within the Borough over the plan period. The scheme would be considered to be above the policy requirements in this regard. In addition, it would not specifically be meeting the identified need (more emphasis on affordable rent).
- 6.37 Although the proposed provision would not be specifically in line with the policy requirements, the provision of 100% of the units as shared ownership would assist Reading in meeting part of its identified need. As such, it is considered that securing the above would be acceptable. In addition, the applicant has suggested inclusion of a requirement within the section 106 for the priority of those eligible to purchase being from the Reading area. Further discussion is ongoing between Reading Housing Development and the applicant at the time of writing and clarification will be supplied in the Update Report.

Other Matters

CIL

- 6.38 The proposed development would result in the demolition of a large commercial unit. The unit appears to have been vacant for some time and as such is likely not to offset any of the CIL charge. Notwithstanding this, an indication of the CIL charge will be provided in an update report. It is noted that affordable units (of either social rent/affordable rent or shared ownership) are likely to qualify for an exemption from the CIL charge.

Equalities Impact

- 6.39 When determining this application, the Council is required to have regard to its obligations under the Equality Act 2010. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the particular planning application. Therefore, in terms of the key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

7 CONCLUSION

7.1 This proposal has been carefully considered in the context of the Reading Borough Local Plan 2019 and supplementary planning documents. The recommendation is shown above. In summary, the development is considered acceptable in regard to:

- Demolition and replacement of the existing structures would clean up a long disused site;
- The existing structures are not sufficiently high quality to restrict the demolition and the replacement dwellings have been designed to integrate sympathetically within the streets;
- The parking, garden space, bin and bicycle storage are all acceptable; and
- The provision of affordable housing of either form proposed is acceptable in policy terms.

Case Officer: Mr Anthony Scholes

8 PLANS

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presentation planning layout

28-32 northfield rd and 26-30 swansea road, reading



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Presentation Planning Layout 18.10.2018 (revised)
 1:200 @ A1 scaling
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- LEGEND**
- Proposed new buildings
- Existing buildings
- Proposed new parking
- Proposed new landscaping
- Proposed new access
- Existing buildings
- Proposed new parking
- Proposed new landscaping
- Proposed new access
- Proposed new buildings
- Existing buildings
- Proposed new parking
- Proposed new landscaping
- Proposed new access



supporting information layout

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Supporting Information Layout 18.10.2018 (revised)
 1:200 @ A1 scaling
 051101-EL-02



APPENDIX 2 - UPDATE REPORT 5 FEBRUARY 2020

UPDATE REPORT

BY THE DIRECTOR FOR ECONOMIC GROWTH AND NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 5th February 2020

ITEM NO.

Ward: Abbey

App No: 191924/FUL

Address: 26-30 Swansea Road and 28-32 Northfield Road, Reading, RG1 8AH

Proposal: Full planning application for the demolition of the existing 2-bedroom dwelling and garages, and erection of nine dwellings, including eight three-bedroom houses and one three-bedroom coach house, with access and parking from Swansea Road, and associated landscaping.

Applicant: Elstree Land and Sovereign Housing Association

Deadline: 04/02/2020

AMENDED RECOMMENDATION:

Delegate to the Head of Planning, Development and Regulatory Services to (i) GRANT full planning permission subject to completion of a section 106 legal agreement or (ii) to REFUSE permission should the legal agreement not be completed by 30th February 2020 (unless the planning officer, on behalf of the Head of Planning, Development and Regulatory Services agrees to a later date for completion of the legal agreement). The legal agreement to secure the following:

- £306,577 towards the provision of affordable housing elsewhere within the Borough
- Or
- An equivalent provision of on-site affordable housing (tenure to be agreed)
- And
- £18,800 contribution towards additional leisure facilities within the locality

Additional transport conditions:

1. Vehicle parking as specified
2. Vehicular access as specified
3. Access closure and re-instatement
4. Pre-commencement provision of visibility splays
5. EV Charging points to be provided prior to occupation

1. Affordable Housing Contribution

- 1.1 The Recommendation above amends the main Agenda report by confirming that the alternative proposal for an on-site provision must be capped at an equivalent level to the off-site contribution. There are ongoing discussions with the Council's housing officers about the level and tenure of any on-site provision.

2. Community Infrastructure levy (CIL)

2.2 The applicant has confirmed that 457m² of the existing buildings were in use up to November 2019, this is also confirmed by the Councils Business Rates team. As such, the 457m² of floor space to be demolished would be off-set from the proposed floor space. The chargeable floor space for the new development would (minus the demolition relief) amount to £61,456.00. Although, as noted in the main report, the applicant would be likely to seek CIL relief for provision of affordable housing.

3. Waste management

3.1 Waste officers have confirmed that the RCP (Refuse collection point) as shown on the proposal plans is sufficiently close to the public highway for waste operators to collect. As such, residents would be responsible for placing bins in the RCP on collection days.

4. Transport officer comments

4.1 In addition to the comments in the main report (section 6.27) the access from Northfield Road will need to be closed up and kerbs realigned. The proposed access is suitable, however no details appear to have shown the visibility splays required for this access. Notwithstanding, a visibility splay of 2.4m x 43m, will need to be illustrated, but this can be dealt with by way of condition.

4.2 Since the writing of the main report, tracking diagrams have been provided which demonstrate that all parking spaces are suitable for cars entering and leaving all parking spaces.

4.3 Transport officers have confirmed that policy TR5 would require all parking spaces to be provided with electric vehicle charging points and would be dealt with by condition.

4.4 Transport officers have confirmed the acceptability of all transport matters. Additional conditions are required as follows:

- Vehicle parking as specified
- Vehicular access as specified
- Access closure and re-instatement
- Pre-commencement provision of visibility splays
- EV Charging points to be provided prior to occupation

5. Boundary Treatments

5.1 Although not specifically mentioned in the main report, condition 16 for details of hard and soft landscaping is proposed to include means of enclosure and boundary treatments. The applicant has confirmed by e-mail that the front boundary treatments are agreed to be brick walls in lieu of planting as shown on the illustrations and this can be covered within condition 16.

6. **Building Recording**

- 6.1 A number of comments have been received in relation to the local historic interest of the building. As per the main report, the loss of the existing structures is considered acceptable due to the limited architectural merit. As such, it is considered that a condition requiring the historical recording of the building would not be warranted in this instance.

Case officer: Anthony Scholes

COMMITTEE REPORT

BY THE DIRECTOR OF ECONOMIC GROWTH AND NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 04/03/20

Ward: Abbey

App No: 192052/HOU

Address: 45 Watlington Street

Proposal: Single storey rear extension, alterations to fenestration and provision of roof light to forward roof slope

Applicant: Mr & Mrs Murphy

Date validated: 27/12/19

Target Date: 21/02/20

Extension: 06/03/20

RECOMMENDATION

GRANT

Conditions to include:

1. Time limit for implementation
2. In accordance with approved plans
3. Materials to match
4. Window and roof light details to be submitted
5. No use of roof as terrace/balcony
6. Obscure-glazing
7. Hours of work

Informatives to include:

1. Terms and conditions
2. Need for building regulations
3. Encroachment
4. Construction and Demolition subject to Environmental Health
5. Positive and proactive

1. INTRODUCTION

1.1 45 Watlington Street is a modest three storey, with basement, mid-terraced property located within Eldon Square Conservation Area. The property benefits from a loft conversion, with front and rear dormers. The dormers combine to exceed the original ridge height. The dormers are unauthorised but have been in situ for in excess of ten years, so are immune from enforcement action due to the passing of time. Beyond the rear garden is located a parking court for Barkham Mews.

1.2 The Eldon Square Conservation Area appraisal notes that the character of the area is predominantly residential, with Watlington Street being the primary street within the area.

- 1.3 *“Its street frontage of short rows of two and three storey houses is punctuated by two significant places of worship and Watlington House, a 17th Century clothier’s mansion, now offices”.*
- 1.4 45 Watlington Street is identified as a Building of Townscape Merit, as are all the unlisted buildings along Watlington Street. The adjoining properties at 47 and 49 Watlington Street are a storey taller, and benefit from rearward gables and further extensions. The adjoining property at 43 Watlington Street is of the same original form and has not been extended to the rear.
- 1.5 The application was called in to be determined at Planning Applications Committee by Councillor Page, following neighbour objections.



Site Location Plan

2. PROPOSALS

- 2.1 Planning permission is sought for the erection of a single storey rear extension, alterations to fenestration and the provision of roof lights. The rear extension would project to a depth of 2.1m, extending at a width of 4.6m. A distance of 0.2m would be maintained to the sideward boundaries with 43 and 47 Watlington Street. The extension would have a flat roof at a height of 2.9m. A roof light would be located within the flat roof, with bi-

fold doors located to the rear elevation. The extension would be of brick construction, to match the existing property.

- 2.2 To the rear elevation, the existing first floor windows would be replaced. The new windows would be in broadly the same location as the existing, but with the provision of a smaller, obscure-glazed, window to serve a proposed bathroom. The proposed windows would be white uPVC, to match those of rest of the property.
- 2.3 To the forward roof slope of the original property, and the northward roof slope of the front dormer would be located roof lights. The roof lights would be in a 'Conservation Area style'. The agent has confirmed the specification of the roof lights to be Keylight-Conservation Centre Pivot-01-550x780mm.

3. PLANNING HISTORY

- 3.1 171787/HOU - Single storey rear extension and replacement of existing front and rear dormers - Withdrawn 18/12/17
- 3.2 191353/PRE - Various external works including single storey rear extension, elevational alterations and reconstruction of dormers - Observations sent 08/10/19 *Officer note: the pre-app response gave no support for any dormer to the forward roof slope. The provision of a rearward dormer was deemed to be more acceptable but would require substantial reduction from that which was proposed, in order to mitigate against harm to the character and appearance of the property and wider Conservation Area and to neighbouring residential amenity. No objection was raised to the proposed single storey rear extension, or the proposed elevational alterations, subject to details being agreed at application stage.*

4. CONSULTATIONS

- 4.1 Conservation Area Advisory Committee
No response received to consultation.
- 4.2 Reading Civic Society
No response received to consultation.
- 4.3 Neighbouring owners and occupiers at 43 and 47 Watlington Street, Wesley Methodist Church, Queens Road and 1-18 Barkham Mews were consulted by letter. Four letters of representation were received, with regard to the following:
 - The rear extension would cause an unreasonable degree of overshadowing and light loss to the kitchen of 43 Watlington Street
 - There are no rear extensions in the terraced row from The Lyndhurst, as they would impact negatively on neighbours in terms of light falling on the back of houses and gardens

- Loss of light and overshadowing does not apply to 45 Watlington Street as it is already overshadowed by 47 Watlington Street, a building constructed decades ago
- In a Conservation Area any development should take account of the effect on the architectural and historic character of the area
- There is little difference to the plans submitted under 171787/HOU, to which Reading Civic Society and the Historic Buildings Consultant objected to
- The building line of 47 Watlington Street should not be used as an excuse to overshadow other properties
- The extension will not provide a greater degree of privacy to adjacent properties
- The rear extension will cause a loss of light to the kitchen and dining room of 47 Watlington Street
- A restriction on hours of work condition should be applied to any permission

5. LEGAL AND PLANNING POLICY CONTEXT

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that applications for planning permission be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy Framework, among them the 'presumption in favour of sustainable development'.

5.2 The application has been assessed against the following policies:

5.3 National Planning Policy Framework

5.4 Reading Borough Local Plan (2019)

Policy CC1 - Presumption in Favour of Sustainable Development

Policy CC7 - Design and the Public Realm

Policy CC8 - Safeguarding Amenity

Policy EN1 - Protection and Enhancement of the Historic Environment

Policy EN3 - Enhancement of Conservation Areas

Policy EN4 - Locally Important Heritage Assets

Policy H9 - House Extensions and Ancillary Accommodation

5.5 Supplementary Planning Guidance - A Design Guide to House Extensions (2003)

6. APPRAISAL

6.1 Design and impact on the character of the surrounding area

6.2 Policy CC7 requires that all development be of a high design quality that maintains and enhances the character and appearance of the area of Reading

in which it is located. Policy EN1 requires all proposals to protect and where possible enhance the significance of heritage assets and their settings, the historic character and local distinctiveness of the area in which they are located. Proposals should seek to avoid harm in the first instance. Policy EN3 notes that positive consideration will be given to proposals which take the opportunity to enhance the character of Conservation Areas. This might include restoring original building features and removing inappropriate additions or alterations.

- 6.3 In assessing the proposals, officers are mindful of the 171787/HOU submission, as well as the relevant refused application at 51 Watlington Street for a front dormer (170611/HOU) and its subsequent dismissal at appeal. Indeed, in his appeal decision the Planning Inspector noted the existing front dormer at 45 Watlington Street to be a significantly jarring element, harmful to the street scene and Conservation Area.
- 6.4 Upon receipt of the application, officers were concerned that the proposed plans included the unauthorised dormers, and that any resultant planning permission could be construed as granted permission for them. An amended plan was requested, with the annotation ‘no alteration to current form’ applied to the dormers. This has been received and is satisfactory. Were it to be applied for, neither dormer would receive planning permission. They are considered to cause significant harm to the character and appearance of the original property and the Conservation Area setting. Unfortunately, due to the passing of time no action can be taken against the unauthorised dormers.
- 6.5 Section 171B of the Town and Country Planning Act (1990) sets time limits for enforcement action to be taken: “*Where there has been a breach of planning control consisting of the carrying out without planning permission of building, engineering, mining or other operations in, on, over or under land, no enforcement action may be taken after the end of the period of four years beginning with the date on which the operations were substantially completed*”. Google Maps images show the dormers in situ and substantially completed in May 2012, comfortably in excess of four years prior to the date of this application. There is no mechanism by which the Local Planning Authority can reasonably expect the dormers to be removed, despite this being preferable. The application will instead be assessed on its own individual merit.
- 6.6 The Council’s Design Guide to House Extensions states that planning permission will not usually be granted for rear extensions that are longer than 4m when measured from the back of the original house. Rear extensions should be located as far away from side boundaries as possible to protect light main rooms, and to safeguard outlook from, adjacent properties. For terraced housing, rear extensions (including single storey ones) can have a significant and detrimental impact on neighbouring properties and the general appearance of the terrace.

- 6.7 45 Watlington Street is a relatively modest property but benefits from a rear garden of approximately 7m depth. 47 Watlington Street, to the south of the site, benefits from a longer plot, but also a rearward gable and extensions. 43 Watlington Street is not extended to the rear and has the same plot depth as the application site. Policy CC1 reflects the presumption in favour of sustainable development contained within the NPPF, whereby a positive approach is taken to considering development proposals.
- 6.8 With a depth of 2.1m, the proposed rear extension would reflect the scale and proportion of the original property. Flat roof extensions with a height of 2.9m are common across the Borough, including on mid-terraced properties. The bulk and mass of the extension is not therefore considered to be excessive, nor would it detract from the appearance of the original property. Constructed of brick to match the existing property, its original character would not be significantly harmed.
- 6.9 The replacement of fenestration to the rear, and the provision of roof lights, is not considered to cause harm to the character and appearance of the original property, or the Conservation Area setting. Detail has been provided with regard to the specification of the roof lights, which would be in a 'conservation style'. This is deemed acceptable and would be secured by condition. The windows to be replaced are non-original white uPVC. It is considered appropriate to require the replacement windows to be in a style in keeping with the Conservation Area setting. An appropriate condition requiring details of the windows to be submitted for approval prior to installation will therefore be applied. Subject to this, the proposal is in accordance with Policies CC1, CC7, EN1, EN3, EN4 and H9 of the Local Plan and the Council's Design Guide SPG.
- 6.10 Impact on neighbouring residential amenity
- 6.11 Policy CC8 states that development will not cause a detrimental impact to the living environment of existing residential properties, in terms of privacy and overlooking, access to sunlight and daylight, visual dominance and overbearing effects of a development and harm to outlook. It is accepted that residents of neighbouring properties will notice the implementation of the proposed development, particularly the proposed 2.1m deep rear extension. To a degree, harm would be caused to the occupants of 43 and 47 Watlington Street in terms of access to sunlight and daylight, and visual dominance and overbearing effects. However, it is not considered that this degree of harm would be significant, given the modest depth of the extension.
- 6.12 Each application is assessed on its own individual merit. However, there are often similarities between schemes and replications of scenarios, particularly with regard to householder development. Reading benefits from a number of terraced properties, many of which have been extended. Considering this, and by applying Policy CC1, a positive approach is taken towards development. The application site benefits from a rear garden of

approximately 7m depth. As a result of the proposal, approximately 5m of rear garden would be retained. As stated above, the proposed rear extension is therefore considered proportionate to the original property and its plot. It should also be noted that under Permitted Development, the applicant could erect a single storey rear extension of slightly greater height, and approximately 1m greater depth, without requiring planning permission. In this context, the harm that a 2.1m deep rear extension will cause to neighbouring residential amenity must be balanced.

6.13 Officers acknowledge the concerns raised by occupants of the neighbouring properties in terms of light loss, overshadowing and visual dominance. However, it is not considered that any significantly harmful impacts on neighbouring residential amenity will arise as a result of the proposed development. The proposal is therefore in accordance with Policies CC1 and CC8 of the Local Plan and the Council's Design Guide SPG.

6.14 Other matters

6.15 In determining this application the Council is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics including age and disability. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the particular planning application. In terms of the key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

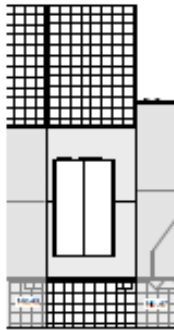
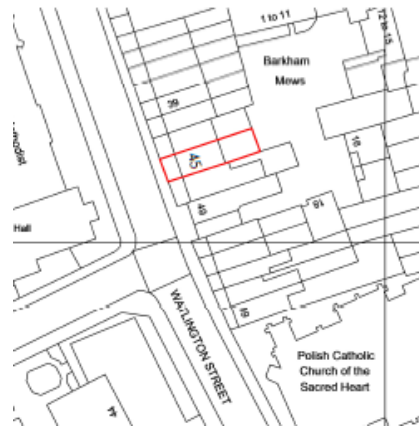
7. CONCLUSION

7.1 The proposal is considered to be acceptable in the context of national and local planning policy, as set out in this report. The application is recommended for approval on this basis.

8. PLANS

Drawing No: 218-A1-08-B - Site Location, Proposed Site Plan, Proposed Floor and Roof Plans and Elevations (received 22/01/20)

Case Officer: Tom Hughes



Existing Site
1:100



Existing front Elevation
1:100



Existing Rear Elevation
1:100



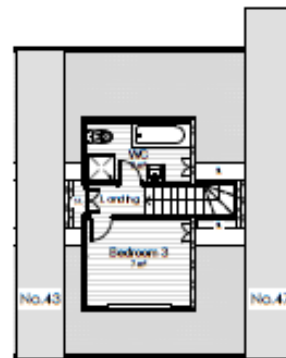
Existing Basement floor
1:100



Existing Ground floor
1:100

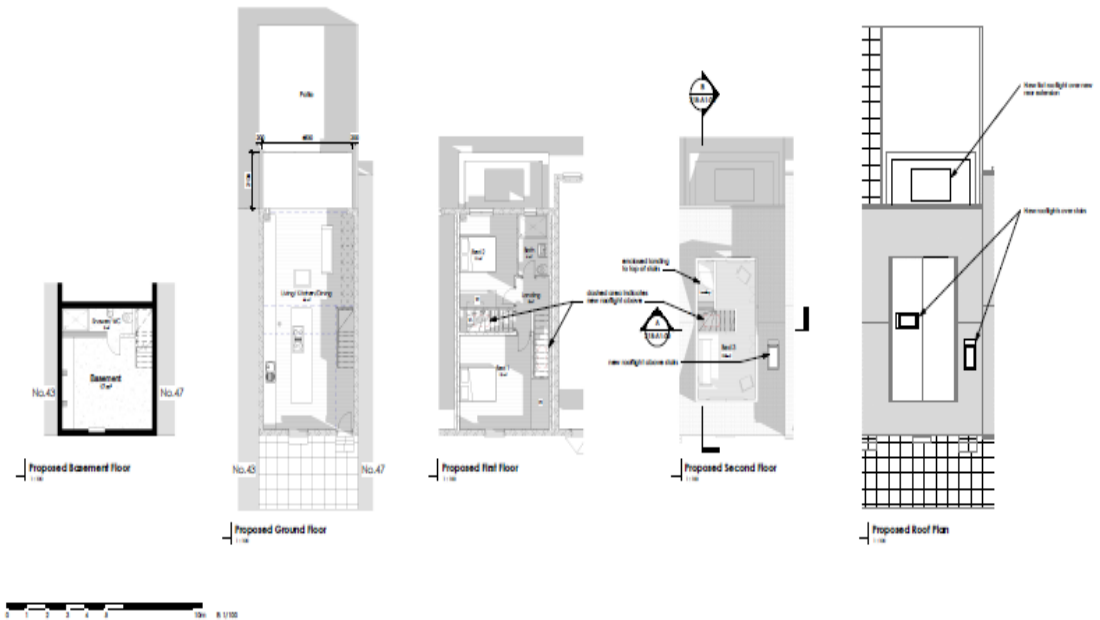
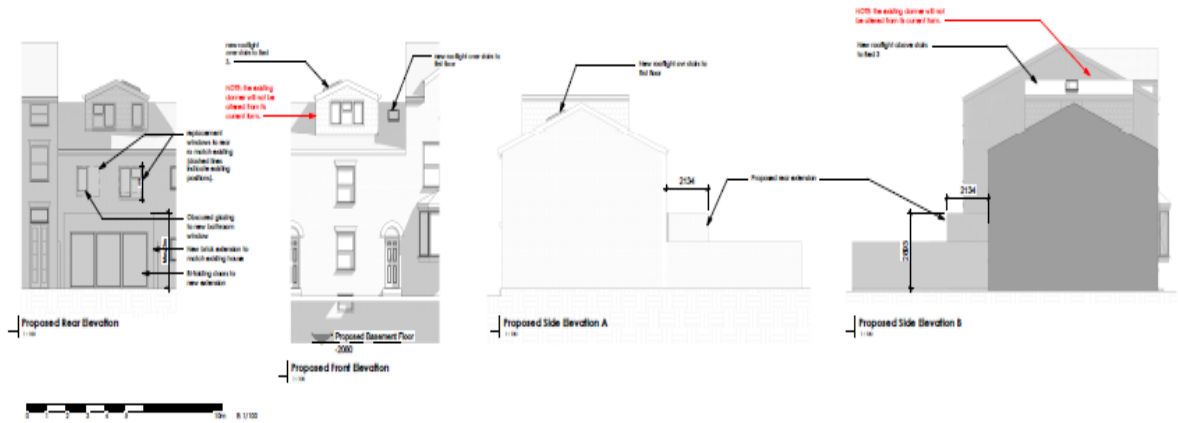


Existing First floor
1:100



Existing Second floor
1:100

Existing Plans



Proposed Plans

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COMMITTEE REPORT

BY THE DIRECTOR OF ECONOMIC GROWTH AND NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 4th March 2020

Ward: Abbey

Application No.: 191659/REG3

Address: Former Family Centre North Street

Proposal: Two buildings of four and five storeys providing 41 dwellings as affordable housing units including vehicular, cycle and pedestrian access, parking and hard and soft landscaping

Date valid: 28th October 2019

Target Decision Date: 27th January 2020 **Extension of Time Date:** 25th March 2020

RECOMMENDATION

Delegate to the Head of Planning, Development and Regulatory Services (HPDRS) to i) **GRANT** full planning permission, subject to the satisfactory completion of a legal agreement in the form of a Unilateral Undertaking or ii) Refuse full planning permission if the legal agreement is not completed by 25th March 2020 (unless officers on behalf of the Head of Planning, Development and Regulatory Services agree to a later date for completion of the legal agreement)

The legal agreement is to include the following heads of terms:

- Secure all units as affordable housing at social rented levels
- £15, 000 car club contribution
- £3, 500 contribution towards a Traffic Regulation Order (section 278 agreement) for highway works to alter the parking restrictions on Weldale Street to provide an on-street car club space
- Adoption of new footway to North Street (section 38 agreement)
- Carbon Off-setting Contribution
- Construction phase Employment Skills and Training Plan

Conditions:

1. Time limit - standard three years for implementation
2. In accordance with the approved Plans
3. Pre-commencement submission and approval of materials
4. Pre-commencement submission and approval of Construction Management Plan
5. Pre-commencement submission and approval of SuDs Strategy
6. Pre-occupation implementation of SuDs Strategy
7. Pre-commencement submission and approval - Contaminated Land 1: site characterisation report
8. Contaminated Land 2: remediation scheme
9. Contaminated Land 3: implementation of remediation scheme
10. Contaminated Land 4: reporting any unexpected contamination
11. Contaminated Land 5: verification report of completed works

12. Pre-commencement submission and approval of a Construction Environmental Management Plan
13. Pre-commencement (of works above slab level) submission and approval of a habitat enhancement scheme
14. Pre-commencement (of works above slab level) submission and approval of details of hard and soft landscaping
15. Pre-commencement (of works above slab level) submission and approval of a security strategy
16. Pre-commencement (of works above slab level) submission and approval of design stage (SAP) sustainability report
17. Pre-commencement (of works above slab level) submission and approval of photovoltaic details
18. Pre-occupation verification of as an as built SAP sustainability report
19. Pre-occupation provision of approved glazing and ventilation specifications
20. Pre-occupation submission, approval and provision of bin store details (pest control)
21. Pre-occupation provision of vehicle parking space
22. Pre-occupation provision of access to vehicle parking space
23. Pre-occupation submission, approval and provision of cycle parking spaces
24. Pre-occupation submission, approval and provision of electric vehicle charging point
25. Pre-occupation notification - no access to parking permits
26. Pre-occupation notification of addresses - no access to parking permits
27. Pre-occupation provision and retention of lifts
28. Control of construction hours (0800-1800 Mon-Fri, 0900-1300 Sat & not on Sundays or Bank Holidays)
29. No burning of waste on site
30. No fixing or installing of miscellaneous item to the external faces or roof of any building without the prior approval from the LPA

Informatives:

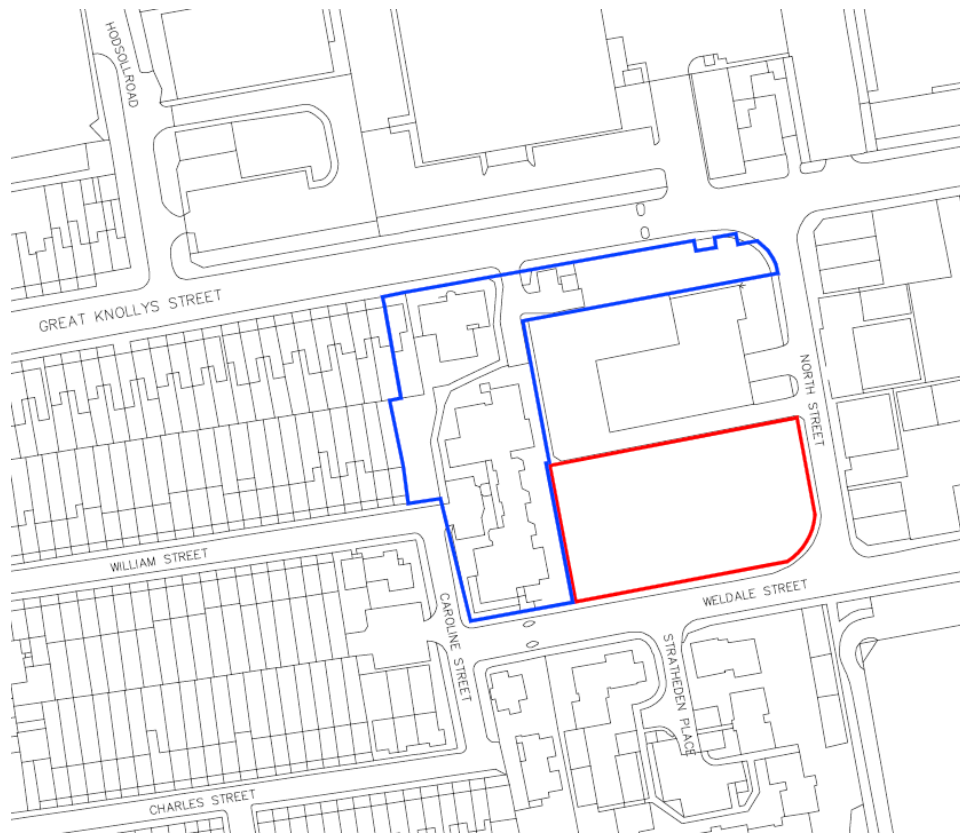
1. Positive and proactive requirement
2. S.106 applies
3. CIL
4. Terms and conditions
5. Pre-commencement conditions
6. Works affecting the Highway
7. Fee for conditions discharge
8. Building Regulations - noise between residential units
9. No parking permits

1. INTRODUCTION

- 1.1 The application site is rectangular and extends to 0.23 hectares and is currently vacant, except for some informal parking occurring on an area of hardstanding. The site sits on the North-West corner of the T-junction of Weldale Street with North Street and falls gently from South to North. It contains trees towards the Southern and Western boundaries (including a mature Norway Maple in the South-

East corner), scrub and hardstanding. To the South of the site is Stratheden Place, a residential cul-de-sac of flats and houses. To the South-East is the Iceland/Wickes site, which has planning permission for a residential redevelopment of 427 units for buildings of between four and eleven storeys. To the West is Burford Court, a three-storey housing association scheme, which is set down into its site, such that it appears much lower onto the frontage of Weldale Street. To the North of the site is an ambulance station. On the opposite side of North Street to the East are industrial units (Nos. 12-14 and 16).

- 1.2 The site has previously been in use as the Berkshire County Council social services facility and was more recently the temporary location for what is now the Civitas Academy, which has since re-located to a permanent site on Great Knollys Street. The site is allocated for residential purposes (indicative guideline range of 15-22 dwellings) under Policy CR14b of the Reading Borough Local Plan 2019.



Location Plan (red line area)

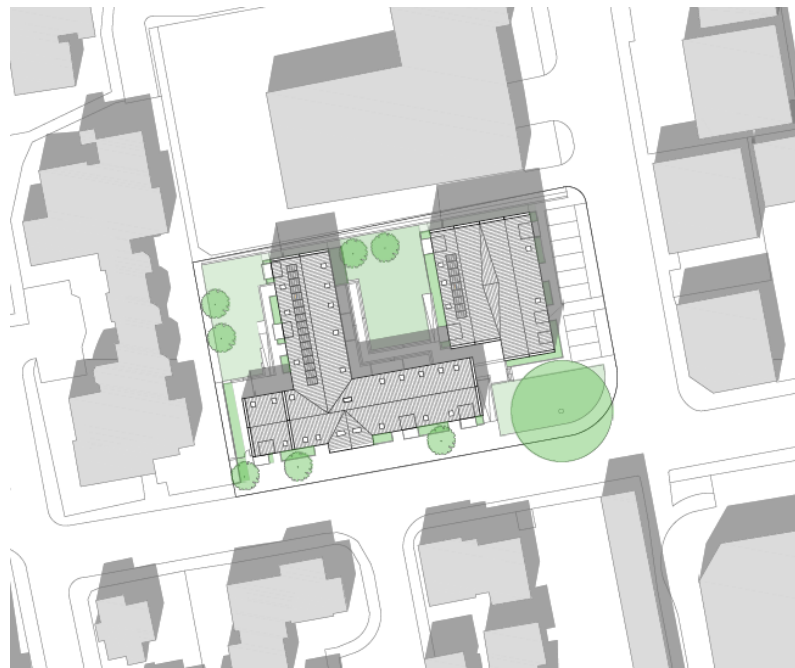
2. PLANNING HISTORY

141626/REG3	A new temporary school of modular construction, single storey and flat roofed. New fencing and gates to site perimeter. New hardstanding for car and cycle parking, and pupil hard play.	GRANTED 7/1/2015
181652/REG3	Outline - erection of a 2.5, 3.5 and 4.5 storey building comprising 47	GRANTED 12/3/2019

	apartments (including 30 per cent affordable housing) in a mix of one, two and three-bedroom units. Landscaping, cycle and car parking with associated works (all matters reserved except layout and means of access).	
181653/REG3	Outline - erection of a 2.5, 3.5 and 4.5 storey building comprising 47 apartments for affordable housing in a mix of one, two and three-bedroom units. Landscaping, cycle & car parking with associated works (all matters reserved except layout and means of access).	GRANTED 12/3/2019

3. PROPOSALS

- 3.1 The application site is the chosen ‘surrogate site’ for affordable housing in relation to the development under construction at Thames Quarter on Kings Meadow Road (Planning permissions ref. 162166FUL and 190809FUL for Erection of a part 13-storey, part 23 storey building comprising 335 apartments in a mix of studio, one-bedroom, two-bedroom and three-bedroom units; residents’ lounges, tech-hub, dining room, and cinema room; various rooftop outdoor amenity spaces; concierge/reception with coffee meeting area; residents’ storage facilities; post room; ancillary back-of-house facilities; 335 secure cycle parking spaces; car parking spaces; landscaping; and associated works).
- 3.2 In short, the Thames Quarter development does not provide any on-site affordable housing and instead sought to provide affordable housing units by way of a ‘surrogate site’ elsewhere within the Borough. This requirement was secured as part of the section 106 legal agreement to provide a surrogate site for ‘between 25 and 56 dwellings’. The committee may recall applications for outline planning permission ref. 181652/REG3 and 181653/REG3 for residential developments of 47 units were approved PAC in December 2018. As set out within the PAC reports for both items the purposes of these outline applications were to demonstrate the suitability of the site to provide for an appropriate level of residential development such that the site could be transferred to a registered provider to bring forward as affordable housing units. These outline permissions were for this purpose only and were never intended to be built out.
- 3.3 The application site has since been transferred to Reading Borough Council’s ownership to bring forward as affordable housing units.
- 3.4 This planning application seeks full planning permission for two buildings of four and five storeys providing all 41 dwellings as affordable housing units including vehicular, cycle and pedestrian access, parking and hard and soft landscaping.



Proposed Site Layout Plan

- 3.5 The proposals consist of two separate apartment blocks, with a taller four and a half storey block fronting North Street to the east and a lower ‘T’ shape block fronting Weldale Street to the south being generally three and a half storeys stepping down to two and a half storeys adjacent to Burford Court to the west. The building design is predominantly red brick with detailing provided by red brick pattern and timber and aluminium cladding, standing seam metal gable pitched roofs are proposed with dormer roof projections.
- 3.6 The proposed layout of the two blocks forms a ‘U’ shape with a partial communal courtyard amenity space area proposed centrally within the site and up to the northern boundary of the site with the adjacent ambulance station building. A further area of communal amenity space is also proposed to the western part of the site adjacent. Hard and soft landscaping is proposed to the communal area as well as to both street frontages.
- 3.7 Access to the central area of communal open-space is provided via the core of the three and a half storey block and via an archway that adjoins the two blocks in the southern east corner of the site. Units are served by a mixture of projecting and inset balconies. Communal bike and bin stores are proposed as well as 9 vehicle parking spaces to the North Street Road frontage.
- 3.8 The development would provide 19 x 1-bedroom units, 21 x 2-bedroom units and 1 x 3-bedroom units all as affordable housing units at social rented levels.
- 3.9 This application is reported to planning applications committee because it is a major category application and the Applicant is Reading Borough Council.
- 3.10 The applicant sought pre-application advice in relation to the proposed development.



Proposed visual - corner of North Street and Weldale Street

4. CONSULTATIONS

RBC Environmental Protection

4.1 No objection, subject to conditions to secure:

- Implementation of the glazing and ventilation specifications set out in the submitted noise assessment report
- Submission and approval by the LPA of a phase 2 contaminated land investigation report and submission/implementation of any necessary mitigation or other measures
- Submission and approval by the LPA of a Construction Management Statement
- Control of construction hours (0800-1800 Mon-Fri, 0900-1300 Sat & not on Sundays or Bank Holidays)
- No burning of waste on site
- Submission and approval by the LPA of details of the proposed bin stores, including pest and vermin control measures

RBC Transport

4.2 No objection, subject to conditions to secure:

- Submission and approval by the LPA of a Construction Management Statement
- Provision of proposed vehicle parking spaces
- Provision of proposed vehicular access
- Submission and approval by the LPA of cycle parking details
- Provision of proposed bin stores
- No access to parking permits - requirement to notify future occupiers
- No access to parking permits - requirement to notify LPA of new addresses
- Provision of electric vehicle charging point
- Submission and approval by the LPA of Sustainable Drainage Strategy
- Provision of Sustainable Drainage Strategy

And a section 106 agreement to secure:

- A financial contribution of £15, 000 towards provision of a car club
- A financial contribution of £3, 500 towards a Traffic Regulation Order (Section 278 agreement) to alter the on-street parking restrictions on Weldale Street to provide an on-street car club parking space
- Section 38 agreement for adoption of proposed footway as part of the public highway on North Street

RBC Natural Environment Trees

4.3 Comments to be provided by way of an update report.

RBC Ecological Consultant

4.4 No objection, subject to conditions to secure:

- Submission and approval by the LPA of a Construction Environmental Management Plan (CEMP)
- Submission and approval by the LPA of a habitat enhancement scheme
- Submission and approval by the LPA of scheme of hard and soft landscaping

Thames Valley Police

4.5 Object due to:

- Lack of physical separation between cycle and bin stores provides little security and likely to lead to bikes being stored in corridors and causing conflict between neighbours. The stores are also accessed by double leaf doors which are difficult to secure. Advise that bin and cycle store should be separate and access via secure single leaf door.
- Bin store, cycle store and residential lobby are interlinked which presents an opportunity for unauthorised persons to gain access to private areas, negatively impacting on security. Advise that secondary security doors are provided to isolate the lobby area from the stairs and lifts to the flats.
- Lack of information regarding location and management of postal boxes
- Secondary security doors should be added to isolate the private residential corridors on each floor from the core (lift and stairs)
- Concerns that the end walls of both blocks to the corner of North Street and Weldale Street lacks surveillance and could be problematic in terms of graffiti. Advise that a defensible strip of bushes should be added in-front of these facades.
- The balustrade to the pedestrian access ramp from Weldale Street incorporates a solid brick balustrade which could also be problematic in terms of graffiti and also in creating a hidden area where people could hide. Advise that balustrade should be of an open rail type design

Subject to the above matters being addressed recommended a condition to secure a security strategy which implements the above security controls.

In response to the above comments amended plans/details were submitted by the applicant on 17th January 2020. Thames Valley Police have not provided further comments on the amended details at the time of writing this report.

Public Consultation

- 4.6 The following neighbouring occupiers were notified of the application by letter - Burford Court Caroline Street (all flats), Units A1, A2 & A3 Great Knollys Street, Units 16, 1A and 12-14 North Street, Reading Ambulance Station North Street, 9 a& 24 North Street, Unit C1 Reading Small Business Centre Weldale Street, Flats 1-6 Caroline Street and no.s 1-6 & 38-45 Stratheden Place.
- 4.7 Two site notices were also displayed on North Street and Weldale Street.
- 4.8 No letters of representation have been received.

5. LEGAL AND PLANNING POLICY CONTEXT

- 5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'. However, the NPPF does not change the statutory status of the development plan as the starting point for decision making.
- 5.2 Accordingly, the National Planning Policy Framework and the following development plan policies and supplementary planning guidance are relevant:
- 5.3 Reading Local Plan 2019

CC1: PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT
CC2: SUSTAINABLE DESIGN AND CONSTRUCTION
CC3: ADAPTATION TO CLIMATE CHANGE
CC4: DECENTRALISED ENERGY
CC5: WASTE MINIMISATION AND STORAGE
CC6: ACCESSIBILITY AND THE INTENSITY OF DEVELOPMENT
CC7: DESIGN AND THE PUBLIC REALM
CC8: SAFEGUARDING AMENITY
CC9: SECURING INFRASTRUCTURE
EN9: PROVISION OF OPEN SPACE
EN10: ACCESS TO OPEN SPACE
EN12: BIODIVERSITY AND THE GREEN NETWORK
EN14: TREES, HEDGES AND WOODLAND
EN15: AIR QUALITY
EN16: POLLUTION AND WATER RESOURCES

EN18: FLOODING AND DRAINAGE
H1: PROVISION OF HOUSING
H2: DENSITY AND MIX
H3: AFFORDABLE HOUSING
H5: STANDARDS FOR NEW HOUSING
H10: PRIVATE AND COMMUNAL OUTDOOR SPACE
TR1: ACHIEVING THE TRANSPORT STRATEGY
TR3: ACCESS, TRAFFIC AND HIGHWAY-RELATED MATTERS
TR4: CYCLE ROUTES AND FACILITIES
TR5: CAR AND CYCLE PARKING AND ELECTRIC VEHICLE CHARGING
CR1: DEFINITION OF CENTRAL READING
CR2: DESIGN IN CENTRAL READING
CR3: PUBLIC REALM IN CENTRAL READING
CR6: LIVING IN CENTRAL READING
CR14: OTHER SITES FOR DEVELOPMENT IN CENTRAL READING
CR14B: FORMER READING FAMILY CENTRE, NORTH STREET

5.4 Supplementary Planning Documents (SPD's)

Supplementary Planning Document: Affordable Housing (2013)
Supplementary Planning Document: S106 Planning Obligations (2014)
Supplementary Planning Document: Parking Standards and Design (2011)
Supplementary Planning Document: Employment Skills and Training (2013)
Supplementary Planning Document: Sustainable Design and Construction (2019)

6. APPRAISAL

The main issues raised by this planning application are as follows:

- Principle
- Development Density, Unit Mix and Affordable Housing
- Design and Character
- Amenity of Surrounding Occupiers
- Standard of Residential Accommodation
- Sustainability
- Transport
- Natural Environment

Principle

- 6.1 The National Planning Policy Framework (2019) encourages the effective use of land by reusing land that has been previously developed (brownfield land) and seeks that all housing applications should be considered in the context of the presumption in favour of sustainable development. The accessibility of the site, located within the Reading Central Area as defined by the Reading Local Plan (2019), is considered acceptable for the proposed development in accordance with Policy CC6 (Accessibility and Intensity of Development) whilst the provision of new housing would align with the broad objectives of Policy H1 (Provision of Housing) in assisting in meeting the annual housing targets.

- 6.2 The site is also allocated for residential development under Policy CR14B (Former Reading Family Centre, North Street) for an indicative range of between 15-22 dwellings and there are two extant outline planning permissions for residential development on the site (ref.s 181652/REG3 and 181653/REG3) which established the principle of residential development.
- 6.3 The broad principle of the proposal for residential development is therefore considered to be acceptable and in accordance with CC6, H1 and CR14B. The details of the proposed development are now considered within the rest of this report.

Development Density, Unit Mix and Affordable Housing

- 6.4 The application proposes a development density of 178 dwellings per hectare (41 dwellings/0.23-hectare site). Whilst a fairly high density development it is noted that there is no prescribed local policy density upper limit for town centre sites, with Policy H2 (Density and Mix) outlining an indicative density of above 100 dwellings per hectare in town centre locations, with factors such as site characteristics, accessibility and need to achieve high quality design and minimise environmental impacts informing the appropriate density
- 6.5 Furthermore, whilst the site allocation within Policy CR14B gives an indicative potential of 15-22 dwellings for the site, paragraph 5.4.33 of the supporting text to the policy clarifies that these figures, as for all allocations, are intended as a guide based on an initial assessment but that the 'capacity of sites will ultimately depend on various factors to be addressed at application stage, including detailed design and layout' which are matters that will be addressed elsewhere within this report.
- 6.6 Policy H3 (Affordable Housing) seeks that for developments of 10 or more dwellings 30% of the units are provided as affordable housing. In this instance, the development is proposed as 100% affordable housing at a social rented level to meet the obligation as the 'surrogate site' to provide part of the affordable housing provision for permitted development at Thames Quarter (refs. 162166FUL and 190807FUL). In these circumstances it is acceptable under the regulations for S106 agreements for all units to be secured as affordable housing by way of a legal agreement as they are necessary to meet the affordable housing requirements of that development.
- 6.7 In terms of unit mix Policy CR6 (Living in Central Reading) seeks that residential developments within the town centre area should incorporate a maximum of 40% of 1-bedroom units and a minimum of 5% of 3-bedroom units. The application proposes 19 x 1 bed units (46.3%), 21 x 2 bed units (51.2%) and 1 x 3 bed unit (2.4%). Whilst the proposed mixed does not strictly adhere to the requirements of Policy CR6 the application is slightly unique in that it is to provide 100% affordable housing. The unit type/size most in demand for affordable housing within the Borough is therefore a more pertinent indicator of an appropriate unit mix in this instance. The Berkshire Strategic Housing Market Assessment (2016) identifies a particular need within Reading and Western Berkshire for 1 and 2-bedroom affordable housing units with the demand for these units representing 76.3% of the total demand for affordable

housing within Reading. Officers are therefore satisfied that the proposed unit mix is appropriate and suitably reasoned.

- 6.8 All new building housing development is liable for the community infrastructure levy (CIL). The chargeable floorspace of the development is 3223 square metres which equates to a levy of £506, 591. However, social housing provision is eligible for relief from the levy and therefore in practice the levy due is likely to be £0.

Design and Character

- 6.9 Policy CC7 aims to preserve or enhance the character of the area in which a development is proposed in terms of layout, landscape, density, scale, height, massing, architectural detail and materials. Policy CR2's (Design in the Centre) purpose is to secure appropriate relationships between buildings, spaces and frontages within the centre of Reading and Policy CR3 requires proposals to make a positive contribution towards the quality of public realm in the central area of Reading.
- 6.10 This site is on the edge of the town centre, with the high/density Chatham Place development in close proximity and the future redevelopment of the former Iceland/Wickes site likely to result in a transformation of the area from one with a retail/commercial feel to a more intensive, urban, residential feel. At present the site has more of a transitional feel with commercial/warehousing units in close proximity to residential uses and the area has no strong prevailing character.
- 6.11 Nonetheless, the proposed two block layout of the development is considered to respond positively to its surroundings. In particular the set-back of the two blocks from the Weldale Street and North Street junction allows retention of a mature Norway Maple Tree and provides a setting for the new development. It will make a feature of the development and create an attractive landscaped area of public realm at the most prominent part of the site and will retain and enhance the contribution of this feature tree to the character of the street-scene. In addition, both blocks are set back from the road frontages with a 9m set back from North Street allowing provision of landscape buffer and 9 vehicle parking spaces whilst a 6m set back from the Weldale Street frontage also allows provision of a landscape buffer as well as tree planting. It is recommended that a detailed hard and soft landscaping scheme be secured by way of condition.
- 6.12 Both blocks also incorporate street level entrances helping to activate the Weldale Street and North Street frontages whilst the T shape of the Weldale Street block assists in providing a semi-courtyard area of landscaped communal amenity space within the site. The T shape layout also helps in siting the western perimeter of the block away from Burford Court which are the closest existing residential properties to the site.
- 6.13 In terms of massing the North Street frontage block is proposed at five storeys (four storeys with a fifth storey of accommodation within the roof space) reflecting the city-centre scale of development to the east, more commercial character and drop in levels to North Street as well as providing a taller feature to the focal corner

junction of the site. The Weldale Street frontage block at four storeys (three storeys with a fourth storey of accommodation within the roof space) steps down to reflect the smaller scale residential development to the south and west. The very western edge of the Weldale Street block steps down further to three storeys (two storeys with a third storey of accommodation within the roof space) to acknowledge a drop-in level and the three-storey massing of Burford Court flats adjacent to the western boundary of the site.

6.14 In terms of design approach the building presents a contemporary aesthetic through use of accentuated projecting gable pitched standing seam metal roof, timber cladding elements and balconies but the predominant red brick exterior and detailing as well as the pitched roof are also reflective of the wider Reading context and existing nearby residential developments. Officers considered that the accentuated brick gables around the retained Maple Norway Maple Tree to the Weldale Street and North Street corner presents a strong design feature in terms of built form and retention of a notable mature tree. The proposed dormer roof projections are modest and appear acceptable within the roof slope. It is considered that the proposal would contribute positively to the mixed character of the surrounding area. Material samples and specifications would be secured by way of condition.

6.15 The proposal is considered to accord with Policies CR2, CR3 and CC7.

Amenity of Surrounding Occupiers

6.16 Policy CC8 (Safeguarding Amenity) seeks to protect the amenity of existing surrounding occupiers. Policy EN16 (Pollution and Water Resources) seeks to protect surrounding occupiers from the impact of pollution.

6.17 The closest existing residential occupiers to the development are those at Burford Court on the adjacent site to the west, which is a three-storey development of flats. This building is unusual in that it has many east facing outlooks at close proximity (4-5 metres of the boundary with the application site) and so in effect, it significantly borrows outlook from over the application site, at first and second floors. Notwithstanding this, the western elevation of the Weldale Street T block of the proposed development would be located 20m from Burford Court which would accord with the minimum recommended separation distance set out with Policy CC8 to prevent any undue overlooking or loss of privacy. Whilst the frontage part of the T block would be located only 10m from Burford Court, this part of the proposed development does not incorporate any windows to the western elevation such that there are no concerns regarding loss of privacy in this respect.

6.18 The other nearby existing residential occupiers are those to the south on the opposite side of Weldale Street within Stratheden Place. The proposals would be sited between 18m and 20m from these units. Whilst some units may be sited marginally less than the recommended separation distance recommended within Policy CC8 this separation is not considered unreasonable and is reflective of other similar relationships in the surrounding area such as to avoid any adverse loss of privacy. The separation distances outlined above are also considered sufficient to prevent any undue loss of light or overbearing impacts to surrounding residential occupiers.

- 6.19 The land to the east of the site on the opposite side of on North Street is currently industrial in nature, although the area is envisaged to come forward for residential development at some point by way of its allocation in the Local Plan. In this respect, Committee may recall application ref. 190086 at Unit 16 North Street, which is directly opposite the application site, which was approved at PAC in November 2019 for a 6-storey building of 10 flats. The proposed development would incorporate a 9-metre set back from the North Street pavement, meaning that a suitable street separation (over 20m) would be provided to this adjacent development or any alternative development that were to come forward on the opposite side of the road. There are no concerns regarding the impact of the proposed development upon the current industrial uses.
- 6.20 To the North of the site is the present ambulance station (two storeys equivalent building), which is in use, this site is not allocated within the Local Plan. However, in terms of considering any comprehensive development of the surrounding land the proposed development does not incorporate any habitable room windows directly on or facing the ambulance station such that it does not borrow outlook from the adjacent site and would not prejudice its development in this respect. There are no concerns regarding the impact of the proposed development on the adjacent ambulance station use.
- 6.21 It is proposed to secure a construction method statement by way of condition to mitigate the impacts of construction works on surrounding occupiers.
- 6.22 The proposals are considered to accord with policies CC8 and EN16.

Standard of Accommodation for Future Occupiers

- 6.23 Policies H5 (Standards for New Housing) set out the standard to which all new build housing should be built. In particular new housing should adhere to national prescribed space standards and provide at least 5% of dwellings as wheelchair user units. Policy EN16 (Pollution and Water Resources) seeks to protect future occupiers from the impacts of pollution. Policy H10 (Private and Communal Outdoor Space) seeks that residential developments are provided with adequate private or communal outdoor amenity space. Policy CR6 (Living in Central Reading) requires that all new residential development in the central area demonstrates how noise, disturbance and air quality implications have been considered.
- 6.24 All units within the development would adhere to the adopted nationally prescribed space standards. The units are mix of both double and single aspect flats, but all units are served by suitable levels of outlook and daylighting with the majority of units served by a south/south westerly outlook providing good solar gains. All upper floor apartments have private outdoor amenity space in the form of a balcony, with a range or projecting/inset/enclosed balconies proposed whilst two good sized communal amenity areas are also proposed. The proposed combination of private balconies and communal amenity space is considered to provide suitable outdoor amenity spaces provision in accordance with Policy H10.

- 6.25 All units are considered to be provided with adequate levels of privacy. Situations of units directly facing each other are limited to across the central semi-courtyard area where at 17m separation distances are considered adequate to prevent any undue overlooking within the development. The ground floor street-level units to both North Street and Weldale Street are set between 6m and 9m back from the public footway with landscape planting in between such that potential for overlooking is limited.
- 6.26 Level access would be obtained to the ground floor units fronting North Street and Weldale Street whilst both blocks also incorporate lift access to the upper floors. Provision and retention of the lift would be secured by way of condition.
- 6.27 Given the location of the site within a semi-industrial area and with the adjacent ambulance station to the east, ensuring future residents are adequately protected from noise impacts is a key concern. A noise assessment and mitigation scheme was submitted as part of the application. Environmental Protection Officers are satisfied that the glazing and ventilation specifications proposed would ensure required standards for internal noise levels can be met. Implementation of these measures is to be secured by way of condition. An air quality assessment was also submitted as part of the application which has also been seen by Environmental Protection Officers who are satisfied that the air quality within the development would not exceed relevant air quality objectives and that equally the development itself would not impact significantly on local air quality.
- 6.28 There is a problem in Reading with pests being encouraged by poor waste storage which provides them with a food source, particularly where developments involve shared bin storage areas. A condition is therefore recommended to require details of the bin stores to be submitted and approved, including measures to prevent pests and vermin gaining access.
- 6.29 The site is located within an area of potentially contaminated land. A phase 1 site investigation report was submitted with the application which recommends that further on-site investigations are carried out. Conditions are therefore recommended to secure submission of further investigative reports and implementation of any remediation measures is required.
- 6.30 The proposals are considered to accord with Policies H5, H10, EN16, CR6 and CC8.

Sustainability

- 6.31 Policy H5 (Standard for New Housing) seeks that all new major housing development achieves zero carbon homes standards and the 'higher' water efficiency standard of building regulations. Policy CC2 (Sustainable Design and Construction) and CC3 (Adaption to Climate Change) seeks that proposals should incorporate measures which take account of climate change. Policy CC4 (Decentralised Energy) seeks that developments of more than 20 dwellings should consider the inclusion of combined heat and power plant (CHP) or other form of decentralised energy provision.
- 6.32 The Councils Sustainable Design and Construction SPD (2019) requires that in order to achieve zero carbon homes standards all development must, as a minimum, achieve

a 35% improvement in the dwelling emission rate over 2013 Building Regulations Standards with financial contribution required to off-set any remaining carbon emissions to zero. The application sets out that the proposed development would incorporate a number of sustainability measures. These include a 'fabric first approach' and use of energy efficient materials to provide a well-insulated building envelope with a high level of airtightness. Use of mechanical ventilation with heat recovered (MVHR) is also proposed which will reduce the need to heat homes through heat recovery, whilst solar voltaic panels are proposed to the west facing roof slopes to generate residual energy demand via renewable methods. To reduce water usage low flush toilets will also be used throughout the development.

- 6.33 It is estimated that the development as a minimum will achieve the 35% improvement in the dwelling emission rate over 2013 building regulations required by Policy H5. Written verification of this would be secured by way of pre-commencement conditions. Pre-occupation submission and approval of an as built energy assessment would also be required to demonstrate the actual achieved dwelling emission rate of the development. A mechanism would be included within a legal agreement to ensure any remaining emissions of the as built development are off-set to zero by way of carbon off-setting financial contribution.
- 6.34 Any required carbon off-setting contribution would be ring-fenced for energy-efficiency improvements or renewables projects within the Borough. This may include (but is not limited to):
- Visits from energy advice officers;
 - Free energy-efficient lightbulbs;
 - Subsidised loft and cavity wall insulation;
 - Boiler cash-back scheme for replacement of inefficient boilers with higher rated boilers; and
 - Draught proofing.
- 6.35 As referred to above, the decentralised energy requirements of the development would be met via provision of photo voltaic panels to the west facing roof slopes, implementation of which would be secured by condition.
- 6.36 A sustainable drainage strategy (SuDs) has also been submitted as part of the application. This has been reviewed by the Local Flood Authority (RBC Transport) and is considered acceptable subject to conditions to secure a timetable for its implementation and details of management and maintenance of the scheme and its implementation in accordance with the approved details.
- 6.37 It is considered that the proposal demonstrates a good standard of sustainability and accords with Policies H5, CC2, CC3 and CC4.

Transport

- 6.38 Policies TR3 (Access, Traffic and Highway related matters), TR1 (Achieving the Transport Strategy) and TR5 (Car and Cycle Parking and Electric Vehicle Charging) seek to address access, traffic, highway and parking relates matters relating to development.

- 6.39 In accordance with the adopted Parking SPD, the development would be required to provide 1 parking space per 1-2-bedroom dwelling and 1.5 space per 3-bedroom dwelling. The development proposals include a total of 9 parking spaces located on the eastern boundary of the site with all spaces facing directly out onto North Street. Therefore, it is noted that the proposed parking provision is below the Council's requirements.
- 6.40 The Council's adopted standards state that a lower provision is acceptable if the site is within a sustainable location and providing a lower provision of parking will not lead to highway safety issues as a result.
- 6.41 A review of the area confirms that North Street and the surrounding road network all have parking restrictions preventing on-street parking. North Street is covered by double yellow lines (no parking at any time) except for a section of the eastern carriageway which has a single yellow line (no parking Monday - Saturday 9am-6.30pm). The southern carriageway and parts of the northern carriageway of Weldale Street are covered by a single yellow line (same restriction as North Street). Double yellow lines and some limited waiting bays are available along the northern carriageway of Weldale Street to the west of the junction with North Street. Great Knollys Street and the surround area is predominately covered by double yellow lines and residential permit parking.
- 6.42 Given the site's close proximity to the centre of Reading, and its easy access to public transport connections and the facilities within the town centre, it is considered that the site is located in a sustainable location. The surrounding road network all have parking restrictions preventing on-street parking, therefore, a reduction in the residential parking provision will not lead to on street parking being detrimental to road safety and is acceptable.
- 6.43 It should also be noted that North Street and Weldale Street do not fall within a Resident's Permit Zone, therefore future residents of the development would not be eligible for a Residents Parking Permit. Conditions and informatives in this respect would be applied. The parking conditions and informative would be applied if this application is approved.
- 6.44 Given that the development has a reduced parking provision, the Council's adopted Parking Standards and Design SPD states that developments of more than 10 residential units in the town centre should provide or support a car club on the site or demonstrate that the development will have access to and the use of a car club on a nearby site. In terms of the car club requirements a financial contribution of £15,000 is recommended to be secured towards the cost of funding a car club whilst a contribution of £3, 500 towards a Traffic Regulation Order (TRO section 278 agreement) is also required to alter the parking restrictions on Weldale Street to provide an on-street car club space. These contributions would be secured by way of a legal agreement.
- 6.45 The Council's Local Transport Plan 3 Strategy 2011 - 2026 includes policies for investing in new infrastructure to improve connections throughout and beyond Reading which include a network of publicly available Electric Vehicle (EV)

charging points to encourage and enable low carbon or low energy travel choices for private and public transport. Policy TR5 of the Local Plan also states that *“Within communal car parks for residential or non-residential developments of at least 10 spaces, 10% of spaces should provide an active charging point.”* The applicant has agreed to provide at least 1no. Electric Vehicle (EV) charging point, details of which will be secured by condition.

- 6.46 The development proposes to provide a total of 9 parking spaces located on the eastern boundary of the site with all spaces located perpendicular to North Street. Provision of the parking spaces and access to them will be secured by way of condition. A footway is to be provided between the parking spaces and the road and this will be offered for adoption by the highway authority under a section 36 agreement as part of the legal agreement.
- 6.47 The proposed development layout shows two refuse stores, one located within each block. This allows direct access for refuse operatives to the store from Weldale Street and North Street. Provision of the bin stores will be secured by condition.
- 6.48 In accordance with the adopted Parking Standards and Design SPD 0.5 cycle spaces are required for 1- or 2-bedroom dwellings and 1 space is required for 3 or more-bedroom dwellings. The proposed site plan demonstrates 2 cycle stores, segregated from the bin store which is acceptable to accommodate the required number of cycles. Details of the specification of the proposed cycle store stands and their provision would be secured by condition.
- 6.49 The proposals are considered to accord with Policies TR1, TR3 and TR5.

Natural Environment

- 6.50 Policy EN12 (Biodiversity and the Green Network) requires development to retain, protect and incorporate features of biodiversity or geological interest found within the application site into their schemes. Policy EN14 (Trees Hedges and Woodlands) states that individual trees, groups of trees, hedges and woodlands will be protected from damage or removal, and the Borough’s vegetation cover will be extended with new development to make provision for tree planting within the application site, or off-site in appropriate situations.
- 6.51 The site currently contains trees which are mostly sited along the southern boundary. Most of these are in the lower categories (C and D) with 9 to be removed as part of the proposed development. However, the Norway Maple on the Corner of the junction which is considered to be a Category A/B tree is proposed to be retained and incorporated within the development layout as discussed earlier in this report. Normally this tree would be under a protection order but given it is located on Council land the lack of threat of removal means it has not been the subject of such an order.
- 6.52 An arboricultural method statement, tree protection details, landscaping concepts plan and tree planting details have been submitted as part of the application. Some

amendments to these documents and proposals have been sought by the Natural Environment Officer and details of these changes, the Officers comments and any additional recommended conditions will be provided by way of an update report.

- 6.53 An ecological assessment has also been submitted with the application which concludes that subject to sensitive removal of the trees and vegetation there should be no ecological constraints to the proposals. The LPA's Ecological Consultant has reviewed the assessment and proposals and is satisfied that the proposals would not have any adverse ecological impacts subject to conditions to secure a habitat enhancement scheme, hard and soft landscaping details, as well as a Construction Environmental Management Plan.

Other

Crime/Safety

- 6.54 There is an outstanding objection to the proposals from the Thames Valley Police Crime Prevention Design Advisor (CPDA) as set out in section 4.5 of this report. However, it should be noted that this objection and the comments raised were based upon the original plans submitted with the application. Following receipt of the comments the applicant made a number of changes to the scheme to address the points raised by the CPDA. The changes include:

- The bin and bike stores have been physically separated providing secure access to each with double doors and a single leaf door respectively.
- A secondary security door set has been added to the T-block hallways to enhance the security of the entrance lobbies.
- Access to upper floors via the elevator in the cluster block to be controlled by a fob or code operated lift, (details to be confirmed via condition).
- Mailboxes to be housed in the entrance hallways of both blocks.
- The access path leading to the ramp on the corner of Weldale Street/North Street has been pulled away from the external wall and a planting strip included.
- The balustrade of the access ramp has been amended to timber fins which offer good levels of transparency.

- 6.55 Whilst updated comments from the CPDA on the amended plans have been sought on several occasions no response has been forthcoming. However, Officers are satisfied that the amendments made to the plans by the Applicant address most concerns raised by the CPDA and that subject to a condition to secure a more detailed security strategy the proposals would provide a safe environment for future and surrounding occupiers in accordance with Policy CC7 (Design and the Public Realm).

Employment and Skills Training

- 6.56 In accordance with the Employment Skills and Training SPD a construction phase employment skills and training plan will be secured as part of the legal agreement.

Equalities Impact

- 6.57 When determining this application, the Council is required to have regard to its obligations under the Equality Act 2010. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the planning application. Therefore, in terms of the key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

7. Conclusion

- 7.1 This proposal has been carefully considered in the context of the Reading Borough Local Plan and the recommendation is to grant full planning permission subject to the conditions and legal agreement heads of terms set out in the recommendation box at the top of this report.

Drawings and Documents Submitted:

70012984-TP-001 P01 - Proposed Highway Adoption
Received by the Local Planning Authority on 28th January 2020

7916_PL_109 rev A - Rendered Elevations
7916_PL_107 rev A - Proposed roof plan
7916_PL_106 rev A - Proposed fourth floor plan
7916_PL_105 rev A - Proposed third floor plan
7916_PL_119 rev A - Proposed second floor plan
7916_PL_104 rev A - Proposed first floor plan
7916_PL_103 rev A - Proposed ground floor plan
7916_PL_102 rev A - Proposed site plan
7916_PL_120 rev A - Tree plan
7916_PL_118 rev A - CIL area calculation
7916_PL_117 - Proposed material elevation
7916_PL_116 rev A - View from junction of North Street/Weldale Street
7916_PL_115 rev A - Section B-B
7916_PL_114 rev A - Section D-D & E-E
7916_PL_113 rev A - West elevation
7916_PL_112 rev A - South elevation and section A-A
7916_PL_111 rev A - East elevation & section F-F
7916_PL_100 rev A - North elevation & section C-C
Received by the Local Planning Authority on 24th January 2020

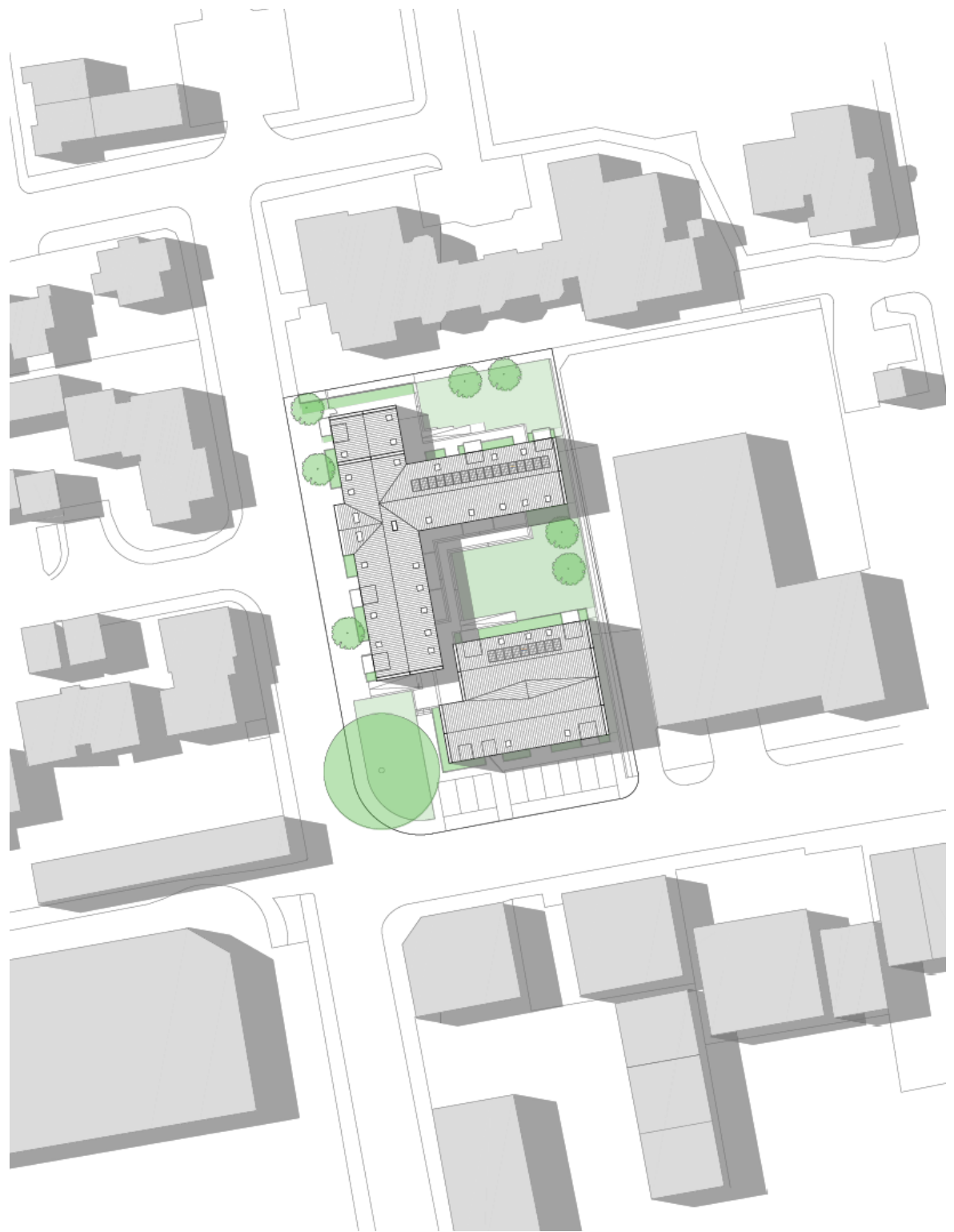
7916_PL_101 - Location plan
WSP Transport Statement ref. 70012984 v1
WSP Phase 1 Contaminated Land Assessment ref. 70012984
WSP Noise Assessment Report ref. 70012984-005
WSP Preliminary Ecological Appraisal ref. 70012984 rev 02
WSP Air Quality Appraisal ref. 70012984-007
WSP Drainage Strategy Statement ref. 70012984

LDA Design Planning Statement ref. 5853 (October 2019)
Saunders Design & Access Statement (October 2019)
Received by the Local Planning Authority on 16th October 2019

70012984-TPP-EV-001 rev P01 - Tree protection plan
Received by the Local Planning Authority on 28th October 2019

WSP Detailed Arboricultural Report ref. 70012984-ARB-04.1
Received by the Local Planning Authority on 17th January 2020

Case Officer: Matt Burns



Proposed site plan



Proposed first floor plan



Proposed second floor plan



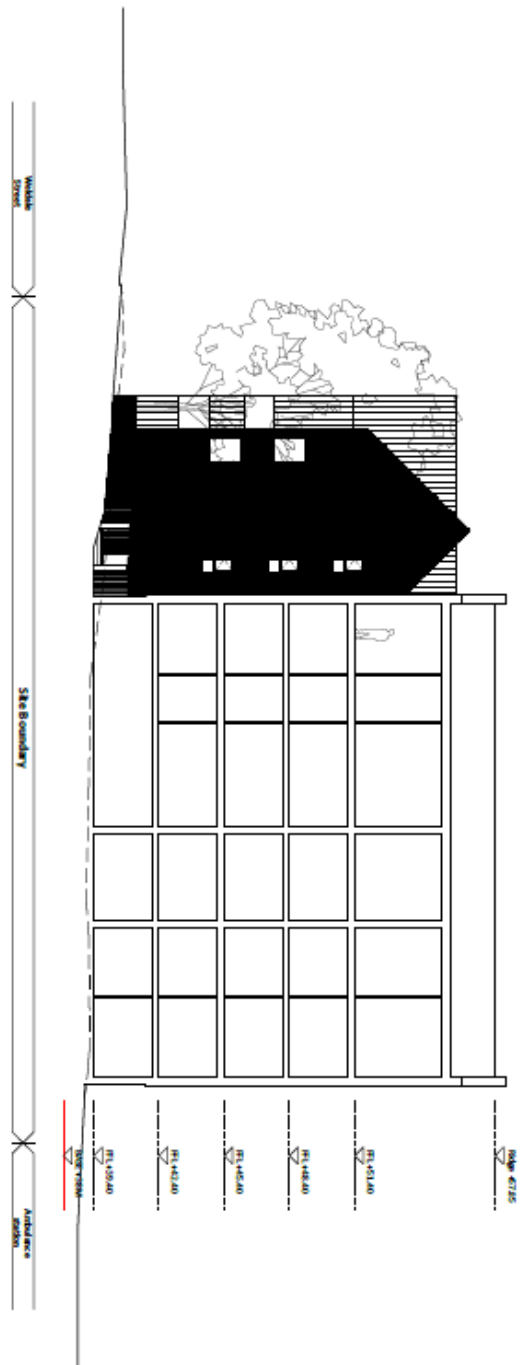
Proposed third floor plan



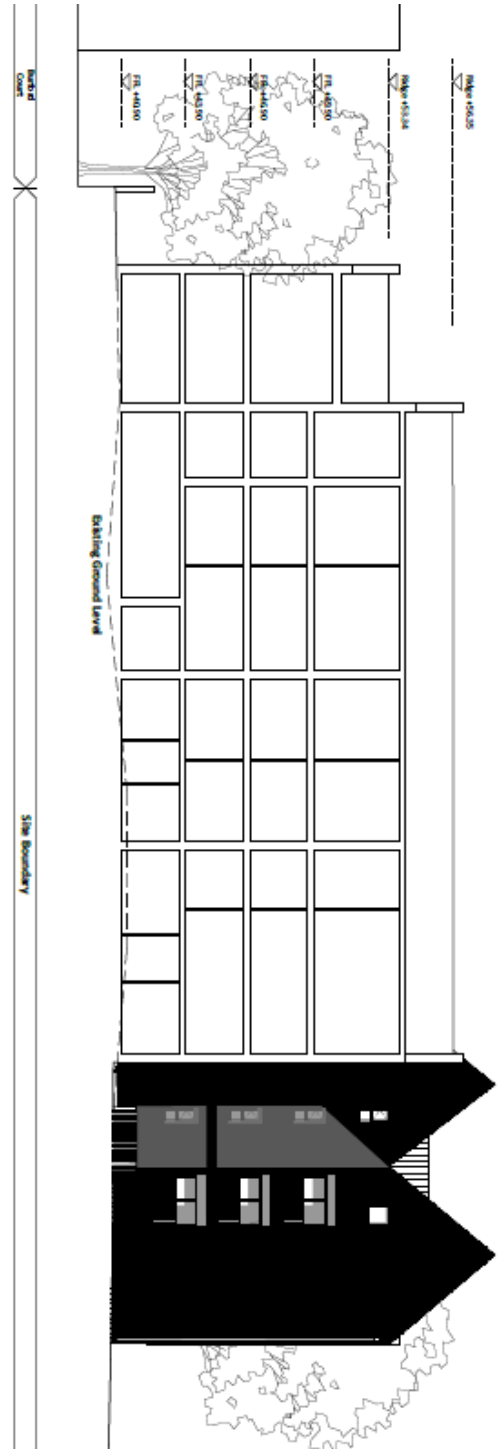
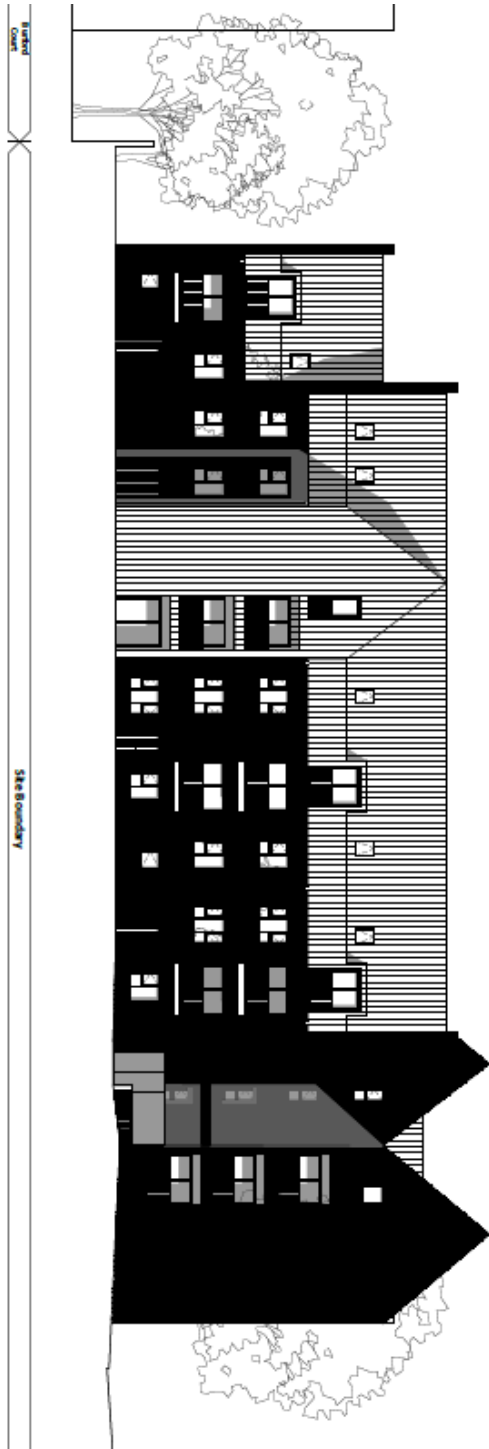
Proposed fourth floor plan



Proposed north elevation and section



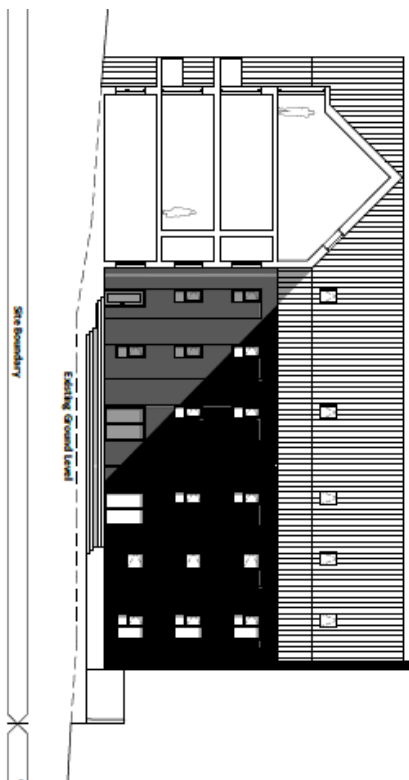
Proposed east elevation and section



Proposed south elevation and section



Proposed west elevation



Proposed section



Proposed sections



Proposed colour street-scene elevations



Proposed visual - corner of North Street and Weldale Street



Proposed materials detail

COMMITTEE REPORT

BY THE DIRECTOR OF ECONOMIC GROWTH & NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 4 March 2020

Ward: Caversham

App No.: 190980/OUT

Address: 2 and 4 Send Road, Caversham, Reading

Proposal: Outline application for demolition of 2 & 4 Send Road. New development comprising of 14 x 1 bed flats and 2 x 2 bed flats. Access proposed from Send Road & Forge Close

Applicant: Abodi Investments Ltd

Determination Date: Originally 2/11/2019; EOT agreed until 6/3/2020

RECOMMENDATION:

REFUSE outline planning permission for the following reasons:

1. The application has failed to demonstrate that the proposal provides wider sustainability benefits to pass the Exceptions Test as required given its location within Flood Zone 3A. As such the proposal is contrary to Policy EN18 of the Reading Borough Local Plan 2019.
2. The submitted Flood Risk Assessment fails to demonstrate that the risks posed to groundwater from potentially contaminated land as a result of the development can be satisfactorily managed. As such the proposal is contrary to Policy EN18 of the Reading Borough Local Plan 2019.
3. The amount of development proposed within the main body of the site would require a scale of building (or buildings) that would appear as an incongruous, jarring and poorly integrated feature within the context of the notably modest scale of development in adjacent streets. The minimal distance that would be likely to exist between the building(s) and east and west site boundaries would result in an overly cramped appearance, further adding to the visual harm. For these reasons the development would represent an overdevelopment of the site, fail to respond positively to its local context, and fail to reinforce local character and distinctiveness. The proposal would therefore harm the character and appearance of the area and is contrary to Policies CS7 and H11 of the Reading Borough Local Plan 2019.
4. The proposed development, due to its scale, mass, height and location would be detrimental to the setting of nearby listed building 'Ivy House' and as such the proposal is contrary to Policy EN1 of the Reading Borough Local Plan 2019.
5. The application fails to demonstrate that the amount of development can be accommodated without harm to the amenity of occupiers of neighbouring properties caused by loss of privacy to gardens and windows due to overlooking resulting from the likely scale of the building and proximity and number of balconies proposed. As such the proposal is contrary to Policy CC8 of the Reading Borough Local Plan 2019.
6. The application fails to demonstrate that the amount of development can be accommodated without harm to the amenity of occupiers of neighbouring properties caused by overbearing and visually dominant effects resulting from the likely scale and position of the proposed building. As such the proposal is contrary to Policy CC8 of the Reading Borough Local Plan 2019.

7. The application fails to demonstrate that the proposed amount of development can be accommodated in a manner which provides adequate outlook, daylight, sunlight and private outdoor amenity space for future occupiers. As such the proposal would be harmful to the amenity of future occupiers, contrary to Policies CC8 and H10 of the Reading Borough Local Plan 2019.

8. The application fails to demonstrate that an appropriate mix of units (incorporating 3 bed units) can be accommodated within the development and therefore the proposal does not produce a suitable mix of dwellings. As such the proposal is contrary to Policy H2 of the Reading Borough Local Plan 2019.

9. The application fails to demonstrate that it can achieve Zero Carbon status and the proposal would therefore fail to demonstrate that it would maximise benefits with respect to tackling climate change. As such the proposals are contrary to Policies CC2 and H5 of the Reading Borough Local Plan 2019.

10. Due to the footprint and layout of the building and the proportion of hard-surfacing to soft landscaping proposed, the development makes insufficient provision and opportunities for tree planting within the application site to improve the level of tree coverage within the Borough and to maintain and enhance the character and appearance of the area. As such the proposal is contrary to Policies CC7 and EN14 of the Reading Borough Local Plan 2019 and the Reading Tree Strategy.

11. Insufficient information has been submitted with the planning application to enable the highways, traffic and transportation implications of the proposed development to be fully assessed. From the information submitted, the Local Planning Authority are unable to consider whether either of the proposed vehicular accesses would adversely affect the safety and flow of users of the existing road network within Reading, contrary to Policies TR1 and TR3 of the Reading Borough Local Plan 2019.

12. The applicant has failed to submit sufficient information for the Council to determine whether or not bats (a protected species and therefore a material planning consideration) will be adversely affected by the proposed development. As such this proposal is considered to be contrary to Policy EN12 (Biodiversity and Geology) of the Reading Borough Local Plan 2019.

13. In the absence of a completed legal agreement to secure an acceptable contribution towards the provision of Affordable Housing, the proposal fails to contribute adequately to the housing needs of Reading Borough and the objective of creating mixed and balanced communities and as such is contrary to Policy H3 of the Reading Borough Local Plan 2019, Affordable Housing Supplementary Planning Document (2013) and para. 50 of the NPPF.

14. In the absence of a completed legal agreement to secure an acceptable mitigation plan or equivalent contribution towards the provision of Employment, Skills and Training for the construction phase of the development, the proposal fails to contribute adequately to the employment, skills or training needs of local people with associated socioeconomic harm, contrary to Policy CC9 and the Employment Skills and Training SPD (2013).

Informatives

1. Positive and Proactive Approach
2. Refused Drawings

1. INTRODUCTION

- 1.1 The application site comprises No's 2 and 4 Send Road, located on the east side of Send Road. No.2 Send Road is a detached residential bungalow and No.4 Send Road a single storey light industrial unit.
- 1.2 The surrounding area contains a mix of residential and commercial/industrial properties. No.393 Gosbrook Road (Ivy House), located to the north east of the site, is a listed building.
- 1.3 The site is located within Flood Zones 2 and 3 as designated by the Environment Agency and is within an Air Quality Management Area.
- 1.4 The proposals are being considered at Planning Applications Committee by virtue of it falling within the 'Major' applications category. The site in relation to the wider area is shown below.



2. PROPOSAL

- 2.1 Outline Planning Permission is sought for up to 16 dwellings.
- 2.2 'Landscaping' is reserved for future consideration. The applicant has submitted a set of indicative drawings showing how the proposed 16 dwellings might be accommodated within the site. The drawings indicate one 'H' shaped building of two and half/three storeys.
- 2.3 Access is proposed for consideration at Outline stage (the current application) and is shown as being achieved through Send Road and Forge Close. 16 vehicle parking spaces are proposed. Indicative landscaping is proposed, as is bin storage.

Drawings

SK3 Rev B Proposed Development

SK3 Rev B Site Plan

Indicative Street Views

Indicative Proposed Aerial Views North and South

Indicative Proposed Aerial Views East and West

Received 19th June 2019

3. PLANNING HISTORY

- 3.1 190233 Outline application for demolition of 2 and 4 Send Road. New development comprising of 14 x 1 bed flats and 2 x 2 bed flats. Access proposed from Send Road and Forge Close. Withdrawn
- 3.2 No site specific pre-application advice has been sought prior to the submission of this application.

4. CONSULTATIONS

Internal

- 4.1 RBC Ecologist - OBJECT. Discussed below.
- 4.2 RBC Heritage Officer- OBJECT. Discussed below.
- 4.3 RBC Natural Environment Officer - OBJECT. Discussed below.
- 4.4 RBC Environmental Protection Officer - OBJECT. Discussed below
- 4.5 RBC Transport Officer - OBJECT. Discussed below

Public

16 letters of objection received, concerned with:

- Height (too high)
- Density (too many flats)
- Inconsistencies/errors with submission
- Lack of concern for the environment
- Lack of private and communal outdoors space
- Overdevelopment/cramped
- Impact on listed building
- Loss of light/overshadowing
- Overbearing/visual dominance
- Loss of privacy
- Noise
- Parking/access/traffic
- Flood risk/groundwater pollution
- Loss of bungalows
- Lack of green space/tree planting
- Impact on air quality

5. RELEVANT PLANNING POLICY AND GUIDANCE

- 5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy Framework (NPPF) which states at Paragraph 11 “Plans and decisions should apply a presumption in favour of sustainable development”.
- 5.2 Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority to have special regard to the desirability of preserving a listed building or its setting or any features of special interest which it possesses.
- 5.3 Reading Borough Local Plan 2019:

- CC1: Presumption in Favour of Sustainable Development
- CC2: Sustainable Design and Construction

CC3: Adaptation to Climate Change
 CC5: Waste Minimisation and Storage
 CC6: Accessibility and the Intensity of Development
 CC7: Design and the Public Realm
 CC8: Safeguarding Amenity
 CC9: Securing Infrastructure
 EN1: Protection and Enhancement of the Historic Environment
 EN10: Access to Open Space
 EN12: Biodiversity and the Green Network
 EN14: Trees, Hedges and Woodland
 EN15: Air Quality
 EN16: Pollution and Water Resources
 EN18: Flooding and Drainage
 EM3: Loss of Employment Land
 H1: Provision of Housing
 H2: Density and Mix
 H3: Affordable Housing
 H5: Standards for New Housing
 H10: Private and Communal Outdoor Space
 TR1: Achieving the Transport Strategy
 TR3: Access, Traffic and Highway-Related Matters
 TR5: Car and Cycle Parking and Electric Vehicle Charging

Relevant Supplementary Planning Documents (SPD) are:
 Affordable Housing (2013)
 Revised Parking Standards and Design (2011)
 Planning Obligations Under Section 106 (2015)
 Sustainable Design and Construction (2019)
 Employment, Skills and Training (April 2013)
 Reading Borough Council Tree Strategy

6. APPRAISAL

The main issues to be considered are:

- Principle of Development
- Flood Risk and SuDs
- Scale, Appearance, Design and Effect on Heritage Assets
- Amenity for Nearby Occupiers
- Quality of Accommodation for Future Occupiers
- Mix of units
- Transport
- Landscape/Trees
- Ecology
- Sustainability
- Affordable Housing
- Other Matters - Sustainability, S106 Legal Agreement and CIL
- Equalities impact

Principle of Development

- 6.1 The proposals include the demolition of a light industrial building. The site is not located within a designated core employment area and therefore there is no in principle objection to the loss of this building. Moreover, the site is predominantly surrounded by residential dwellings and therefore loss of this use is likely to be beneficial to the amenity of existing nearby occupiers in terms of removal of a source of potential noise and disturbance.

- 6.2 Neither the bungalow or industrial unit are of any particular architectural merit to warrant retention in themselves. Nevertheless, their diminutive scale means they appear unobtrusive within the street scene, with space about the buildings so as not to appear cramped within their setting. Within this context, there is no in principle objection to the existing bungalow and industrial building being demolished in design terms, but the replacement building must be appropriate in all other aspects (which is detailed further below).
- 6.3 Therefore, whilst it is considered that a proposal to introduce 16 residential units would broadly comply with the principles of Policy H1 by contributing to meeting the housing needs within the Borough, the remainder of this appraisal shall demonstrate why the principle for the development as proposed for this site is not acceptable when considered against other relevant Policies.

Flood Risk and SuDS

- 6.4 The site is located within Flood Zone 3a and the NPPF (2019) defines residential dwellings as a 'more vulnerable' development in terms of flood risk. Furthermore, the commercial use element is classified as 'less vulnerable' and therefore the proposal would result in a development of a higher flood risk vulnerability classification. As the site falls within Flood Zone 3a, the Sequential Test and Exception Tests are required. In addition, Policy EN18 (Flooding and Drainage) sets out that planning permission will not be granted for development that would increase risks arising from flooding.
- 6.5 The Sequential Test assesses other potential sites in the Borough with the aim of steering new development to areas at the lowest probability of flooding (Zone 1). If the applicant can demonstrate through the sequential process that a site with a lower probability of flood risk is not reasonably available a case can be put forward as to why the development could be considered as an exception. For the Exception Test to be passed (NPPF para 102) it must be demonstrated that the development provides wider sustainability benefits to the community that outweigh flood risk, and a Flood Risk Assessment must demonstrate that the development will be safe without increasing flood risk elsewhere.
- 6.6 The NPPG on Flood Risk and Coastal Change provides further detail on the Sequential Test. Paragraph 33 requires the area to which to apply the Sequential Test should be defined by local circumstances and relate to the catchment for the type of development proposed. Also, when applying the Sequential Test, the guidance states that "...a pragmatic approach on the availability of alternatives should be taken".
- 6.7 The Council's latest 'Housing and Economic Land Availability Assessment' (May 2017) notes that, 'there are not sufficient sites to meet the objectively assessed need for housing in Reading on sites in Flood Zones 1 and 2'. The onus is on the applicant to present a detailed sequential test for any development (where applicable) and demonstrate the case to the local planning authority. The sequential test area would include land within the whole of the Borough.
- 6.8 It is for the Local Planning Authority to assess whether the Sequential Test has been passed and to be satisfied that the proposed development would be safe and would not lead to increased flooding elsewhere (to be addressed through a Site Specific Flood Risk Assessment).
- 6.9 The submitted Sequential Test identifies that a search for sites has been undertaken across the whole of Reading Borough area selecting reasonably

comparable sites (in terms of size/availability/planning history/ownership and any other known development constraints). The submitted Sequential Test identifies that there are no sequentially preferable sites and officers consider that the assessment has been undertaken in accordance with nationally policy and guidance requirements.

- 6.10 Notwithstanding the above, for the Exception test to be passed it must:
- Demonstrate that the development provides wider sustainability benefits to the community that outweigh flood risk, informed by a Strategic Flood Risk Assessment where one has been prepared; and
 - A Site-specific Flood Risk Assessment must demonstrate that the development will be safe for its lifetime taking account of the vulnerability of its users, without increasing floor risk elsewhere, and, where possible, reduce flood risk over all.
- 6.11 In respect of the first point above, it is not considered that the submission demonstrates that the site provides wider sustainability benefits to pass the Exceptions Test. The submission comments that the delivery of 16 residential units represents a wider sustainability benefit. However, in light of the issues raised and discussed in this report, the shortfalls of the scheme are not considered to be outweighed by the provision of housing that is otherwise considered unacceptable.
- 6.12 In respect of the second point above, whilst a Flood Risk Assessment has been submitted, the Environment Agency have raised an objection, and consider that, as detailed above, the risks to ground water from the development are unacceptable. Given the above, there is an in principle objection to the proposed development which is considered contrary to Policy EN18.
- 6.13 A sustainable drainage strategy (SuDs) has also been submitted as part of the application. This has been reviewed by the Local Flood Authority (RBC Transport) and is considered acceptable subject to conditions to secure a timetable for its implementation and details of management and maintenance of the scheme and its implementation in accordance with the approved details.

Scale, Appearance, Design and Effect on Heritage Assets

- 6.14 Policy CC7 aims to preserve or enhance the character of the area in which a development is in terms of layout, landscape, density, scale, height, massing, architectural detail and materials. Policy EN1 seeks to preserve or enhance the historic character and setting of heritage assets.
- 6.15 It is acknowledged that Send Road at this point has no definitive character; the area contains a variety of dwellings types and forms, including some commercial properties. It is also acknowledged that the bungalows in themselves are of no particular architectural merit. Nevertheless, they are of a diminutive scale and unobtrusive within the street scene. Furthermore, they contribute to the spacious character of this part of Send Road; certainly for the plots around the bungalows. They are also two of a short run of similar dwellings facing Send Road, which form a distinctive group. The combination of their (lack of) height, spacing, and deep rear gardens, combined with soft landscaping, contributes, cumulatively, to the spacious character of the road at this point.
- 6.16 In contrast, the sheer scale of the scheme would be markedly at odds with this immediate context. The proposals would give rise to a disparity in plot size between the existing and proposed development, with the proposed occupying nearly the entire width of the site at around three storey. The proposed built form would effectively fill the site almost to its margin such that it would appear cramped and overdeveloped, resulting in a considerably constrained form of

development.

- 6.17 In terms of scale and detailed design, the proposed building is in complete contrast to the adjacent buildings. The need for an 'h' shaped building, with large crown roof and elongated side, has a minimal, if not opposite effect, in achieving a reduction in the bulk of the building. The proposed development would appear overly large compared to the neighbouring bungalows and properties along this part of Send Road, generally due to the bulky roof form, prominent gables and overall width at nearly three storey. In combination, the scale and elongated side elevations would mean that the bulk and overall mass of the proposal would introduce an unduly visually dominant building within the Send Road and Forge Close street scenes. Furthermore, the lack of transition in height and separation distance between the proposed building and the neighbouring properties would be limited and would not be adequate to ensure that the building integrates in the local context.
- 6.18 Whilst the proposed materials are not known, it is not considered that satisfactory materials would be sufficient to create a visually interesting building or to mitigate the shortcomings of the architecture.
- 6.19 It is not clear where the design cues have been taken from, as the building would not appear to complement the locality, with uncharacteristic features such as the under-crofts. The resulting substantial building would be in stark contrast to the existing character, with the combination of the increased height, plot coverage and overall bulk resulting in an overly dominant and overdeveloped appearance. A substantial amount of development to both the front and rear and side boundaries and what remains of the exterior provision would be dominated by hardstanding (hard-surfaced parking bays and bin provision). Furthermore, whilst indicative landscaping is shown, and whilst acknowledging that landscaping is a future consideration, given its location under the under-crofts, the site's contribution to the greening and softening of the street scene would be markedly diminished with limited space for any meaningful landscaping at the front of the site.

Setting of adjacent Heritage Assets

- 6.20 Located to the north east of the site, is the Grade II Listed 'Ivy House'. The proposed building would be viewed from the principal elevation of Ivy House, along Gosbrook Road.
- 6.21 As a result of the orientation of the proposed 'H' shaped building design, the longest elevation of the building, the north facing elevation, would be directly behind Ivy House, immediately adjacent the common boundary. The indicative design shows the north elevation (and south) consisting of broad mass extending across nearly 70% the width of the boundary and, at a scale of nearly three storeys, with dormer windows and balconies, this will be visually intrusive within views of the principal elevation of the listed building. Consequently, the scale, mass and design of the proposed building in this location is considered to harm the architectural and aesthetic value of this heritage asset and its setting.
- 6.22 For these reasons, the proposals would be contrary to Policies CC7, EN1 and H11 of the Reading Borough Local Plan 2019.

Amenity for Nearby Occupiers

- 6.23 Policy CC8 (Safeguarding Amenity) seeks to ensure development does not cause harm to the living environment of existing properties, in terms of loss of privacy, overlooking and visual dominance, amongst other things. Policy EN16 (Pollution and Water Resources) seeks to protect surrounding occupiers from the impact of

pollution.

- 6.24 The proposed building as indicatively shown, would extend right up to the side boundaries at nearly 3 storey in height. It is considered that this would be a visually dominant form of development which would have an unduly overbearing impact to the occupiers of No's 389 and 393 Gosbrook Road, and No.6 Send Road (whilst noting that 389 Gosbrook Road and 6 Send Road are not in residential use).
- 6.25 In terms of overlooking and privacy matters, first and second floor balconies are proposed on all elevations. Given the position, size and number of balconies proposed, they are considered to result in an increased perception of overlooking, as well as actual overlooking, to occupiers of neighbouring properties. The loss of privacy would be a marked, and uncomfortable, contrast to the current situation.
- 6.26 Further to the above, it should be noted that any increase in the size of the building due to detailed design requirements (room sizes, access arrangements, internal layout requirements etc), and/or the need to comply with the dwelling mix requirements of Policy H2 could significantly worsen these effects.
- 6.27 Given the orientation of the proposed building in relation to the properties along Forge Close, combined with the distances, whilst visible, the new building is unlikely to result in any significant material loss of light or overbearing impact to the occupiers of these properties.
- 6.28 However the other concerns raised above are sufficient to indicate that the proposal is contrary to Policy CC8 of the Reading Borough Local Plan 2019.
- 6.29 In terms of contaminated land, Environmental Protection colleagues recommend the standard four-stage conditions to ensure that the possible presence of contamination is thoroughly investigated and removed/mitigated if necessary (3 of the conditions are pre-commencement). The proposal is considered to accord with Policy EN16.

Quality of Accommodation for Future Occupiers

- 6.30 Policies H5 (Standards for New Housing) set out the standard to which all new build housing should be built. In particular, new housing should adhere to national prescribed space standards. Policy H10 (Private and Communal Outdoor Space) seeks that residential developments are provided with adequate private or communal outdoor amenity space.
- 6.31 Indicative layouts of the units have been provided. However, the orientation of individual layouts to each flat have not been shown. In this respect, and when using the indicative layouts, looking at the side units, whilst assuming the double doors as shown at first and second floor would face outwards on to the balconies, at ground floor, that would mean the doors would face directly on to the site boundary within close proximity, indicating that the doors would unlikely be able to open. Furthermore, the proximity to the boundary would restrict the amount of natural light to habitable rooms as indicated and offering poor outlook.
- 6.32 Looking at the ground floor middle units, given the parking spaces indicated on the plans, near on directly in front of the only windows to serve the living/dining areas, resulting oppressive and unattractive places in which to spend time. This further compromises the quality of accommodation.
- 6.33 Given the above, it is not readily apparent how the amount of development proposed might be arranged differently and it is considered that the proposals fail

to demonstrate that the proposed development would provide a suitable quality of daylight, and outlook for future occupiers, especially at ground floor.

- 6.34 The indicative plans suggest that the units would meet the minimum gross internal floor areas as set out in the nationally prescribed space standards and Policy H5 (Standards of Housing) ie. 70m² for 2 x bed units and 50m² for 1 x bed units. However, the Policy and space standards also states that in order to provide two bed spaces, a double (or twin bedroom) has a floor area of at least 11.5m² and in order to provide one bed space, a single bedroom has a floor area of at least 7.5m². Not all the units appear to achieve this. Furthermore, not all units would be double aspect and the size of the units proposed would, overall, provide a cramped and generally poor standard of accommodation, another indication of the overdeveloped nature of the site.
- 6.35 Policy H10 deals specifically with private and communal space and requires such space to allow for sitting out, children's play areas, home food production, green waste composting, refuse storage, drying space. *"The design of outdoor spaces will respect the size and character of other similar spaces in the vicinity"*. Para 4.4.87 of the RBLP sets out that *"in the past, the Council has sought the following minimum provisions for private or communal outdoor space for each type of accommodation, and they provide a useful guide for proposals: (b) Flats outside central Reading: 1 and 2-bedroom: 25 sq m per flat.."*
- 6.36 Linked to the above concerns regarding overdevelopment of the site, whilst some private amenity space is to be provided in the form of balconies, the overall useable amenity space to these units would be limited and not characteristic of those in surrounding plots. There would be no communal space and, whilst landscaping is a reserved matter, the proximity and amount of parking/hardstanding and bins stores as indicated, would not form an attractive or enjoyable area of outdoor amenity space and would be compromised by vehicles manoeuvring immediately next to it, making it an unappealing space for relaxing and /or playing. On this basis, the quantity and quality of the proposed amenity space would be inadequate and fail to meet the minimum requirements sought by Policy H10.
- 6.37 In these regards the numerous individual shortfalls identified, when considered cumulatively, result in the overall conclusion that the quality of accommodation for future occupiers would be contrary to Policies H5 and H10 of the Reading Borough Local Plan 2019.

Mix of units

- 6.38 Policy H2 (Density and Mix) addresses density and housing mix and states that this will be informed by character and mix of the area; accessibility; the need to achieve high quality design; maximise efficiency of land; need to minimise the environmental impacts including detrimental impacts on the amenities of adjoining occupiers. The Policy states that, *"Wherever possible, residential development should contribute towards meeting the needs for the mix of housing set out in figure 4.6, in particular for family homes of three or more bedrooms."*
- 6.39 In respect of a scheme of this size, the Policy seeks to ensure that on new developments for 10 or more dwellings outside the central area and defined district and local centres, planning decisions will ensure that over 50% of dwellings will be of 3 bedrooms or more, and the majority of dwellings will be in the form of houses rather than flats, having regard to all other material considerations. This development proposal will provide a dwelling mix consisting of 14 x 1 bed and 2 x 2 bed units, with no 3 bed units proposed and all within the form of flats. The

proposal therefore falls short of the targets for mix and type of dwellings set by Policy H2 and having considered the suburban characteristics of the existing site and wider surrounding area, this shortfall forms a reason for refusal.

Transport

- 6.40 Policies TR3 (Access, Traffic and Highway related matters), TR1 (Achieving the Transport Strategy) and TR5 (Car and Cycle Parking and Electric Vehicle Charging) seek to address access, traffic, highway and parking related matters relating to development.
- 6.41 The proposed development would result in the separation of the parking areas and as such would require a vehicular access located both on Send Road and Forge Close. Whilst this could be acceptable in principle, given that access is to be considered as part of this Outline application, details illustrating the design of the accesses are required and have not been submitted with the application. Furthermore, details should be provided identifying the existing access points, and confirming that these would be reinstated following the creation of the proposed access points.
- 6.42 Further to the above, whilst 16 car parking spaces are shown to be provided, the proposed development is one car parking space short as no visitor parking or disabled bays have been provided. Whilst matters of detail, these would have an impact on the design of the access and therefore relevant to the design of the access.
- 6.43 Given the above, insufficient information has been submitted with the application to enable the highways, traffic and transportation implications of the proposed development to be fully assessed. As such, the application fails to demonstrate that the proposed vehicular accesses would not adversely affect the safety and flow of users of the existing road network. The proposal is therefore contrary to Policies TR1, TR3 and TR5 of the Reading Borough Local Plan 2019.

Landscaping/Trees

- 6.44 Policy CC7 (Design and the Public Realm) seeks that development should contribute positively to the area of Reading within which it is located, including by way of landscaping. Policy EN14 (Trees Hedges and Woodlands) states that individual trees, groups of trees, hedges and woodlands will be protected from damage or removal, and the Borough's vegetation cover will be extended with new development to make provision for tree planting within the application site, or off-site in appropriate situations.
- 6.45 The application requires the removal of a number of smaller ornamental trees and soft landscaped areas within the residential gardens of the existing properties, with no viable opportunity for new tree and landscape planting on site. There would be large areas of hard landscaping for parking both on the Send Road and Forge Close sides of the development and whilst the plans show areas indicated for 'landscaping' which wrap around the eastern and western wings of the proposed building, this would be limited to a narrow strip either side of the building. Furthermore, the areas of 'landscaping' in the under-crofts of the building would not have any significant wider amenity value and would not be wide enough to support any additional new tree or shrub landscaping planting. It would be impractical to include landscape planting within the under-croft areas as the lack of light would prevent any new planting from thriving in this location. Indeed, any new planting would be dependent on artificial irrigation to survive and therefore would be vulnerable to neglect. Any new tree or landscape planting within the areas indicated would also be likely to conflict with the property as it matures.

- 6.46 Whilst acknowledging that landscaping is a future consideration, given the above, the application fails to demonstrate that sufficient tree and landscaping could be provided. As such the proposal is contrary to Policies CC7 and EN14 of the Reading Borough Local Plan 2019 as well as Objectives 5 (Climate Adaption) and 8 (The Role of New Developments) in the adopted Tree Strategy.

Ecology

- 6.47 Policy EN12 (Biodiversity and the Green Network) states that development proposals should retain, protect and incorporate features of biodiversity. Furthermore, Paragraph 99 of the government Circular 06/05: Biodiversity and Geological Conservation - Statutory Obligations and Their Impact Within The Planning System (this document has not been revoked by the National Planning Policy Framework) states that:

“It is essential that the presence or otherwise of protected species, and the extent that they may be affected by the proposed development, is established before the planning permission is granted, otherwise all relevant material considerations may not have been addressed in making the decision. The need to ensure ecological surveys are carried out should therefore only be left to coverage under planning conditions in exceptional circumstances, with the result that the surveys are carried out after planning permission has been granted.”

- 6.48 The surrounding area contains gardens with tree lines which connect in the wider landscape to the River Thames to the south of the application site. This provides suitable habitat for use by foraging and commuting bats. Furthermore, the existing buildings may contain features that could be suitable for use by roosting bats and, due to the location of the site and the extent of the works, there is a risk that the proposals may affect roosting bats and a bat survey has report has not been provided in this respect.
- 6.49 In this case, it has not been established whether the presence or otherwise of bats (a protected species) will be affected by the proposals, and nor are there any “exceptional circumstances” that would enable the council to condition further surveys should the application be approved.
- 6.50 Given the above, there is insufficient information for the Council to determine whether or not protected species (a material consideration) would be affected by the proposed development. As such the proposal is contrary to Policy EN12 of the Reading Borough Local Plan 2019.

Sustainability

- 6.51 Policies H5 (Standards for New Housing) seeks that all new building housing is built to high standards. In particular, new housing should meet water efficiency standards above building regulations, and zero carbon homes standards (for major schemes). Policy CC2 (Sustainable Design and Construction) and CC3 (Adaption to Climate Change) seeks that proposals should incorporate measures which take account of climate change.
- 6.52 The Council’s Sustainable Design and Construction SPD (2019) requires that in order to achieve zero carbon homes standards all development must, as a minimum, achieve a 35% improvement in the dwelling emission rate over 2013 Building Regulations Standards with a financial contribution required to off-set any remain carbon emissions to zero.
- 6.53 No sustainability or energy reports have been submitted with the application, and

no reference made to zero carbon homes or Policy H5. Should the application have otherwise been considered acceptable, written verification of the proposals achieving the above would be secured by way of pre-commencement conditions. Pre-occupation submission and approval of an as built energy assessment would also be required to demonstrate the actual achieved dwelling emission rate of the development. A mechanism would be included within a legal agreement to ensure any remaining emissions of the as built development are off-set to zero by way of carbon off-setting financial contribution.

- 6.54 The proposed development fails to demonstrate compliance with the above in this respect and is therefore contrary to Policies H5, CC2 and CC3 of the Reading Borough Local Plan 2019.

Affordable Housing

- 6.55 In terms of affordable housing Policy H3 (Affordable Housing) seeks that for development proposals of more than 10 dwellings, 30% of the total dwellings will be in the form of affordable housing. In this respect, the applicant considers that the development cannot sustain such a contribution towards affordable housing.
- 6.56 Policy H3 is clear that only in instances where it can be demonstrated through evidence that making affordable housing contribution would render the scheme unviable will the Council forgo or seek a lower or deferred contribution. It has not been demonstrated through assessment of a viability appraisal that the development is completely unviable without the submission of some contribution towards affordable housing.
- 6.57 In the absence of the required 30% on-site provision or financial contribution, the proposed development would not therefore make adequate provision for the delivery of affordable housing, failing to comply with Policy H3 and the Affordable Housing Supplementary Planning Document (2013).

Other Matters

S106 and CIL

- 6.58 In addition to Affordable Housing requirements set out above, as the scheme falls within the Major category it would be required to provide an Employment Skills and Training Plan for the 'Construction Phase', or equivalent financial contribution. Both options could be secured via S106 agreement at Outline stage, to include a mechanism to determine the exact amount sought at Reserved Matters stage (dependent on the final amount of floorspace proposed) based on the formula: £2,500 x Gross internal floor area of scheme (m²) / 1000m². This would be secured within a S106 legal agreement if the application were recommended for approval.
- 6.59 CIL would apply to the proposals, subject to the usual reliefs or exemptions set out in the CIL Regulations. It is not possible to calculate the CIL charge until full floorspace details are provided at Reserved Matters stage.

Equalities Impact

- 6.60 When determining this application, the Council is required to have regard to its obligations under the Equality Act 2010. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to this particular planning application. Therefore, in terms of the key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

7. CONCLUSION/PLANNING BALANCE

- 7.1 In support of the application is the provision of 16 residential units, in a location that has good access to a range of services and facilities. In seeking to bring forward housing development in an accessible location, the proposal accords with the general thrust of the development plan to some extent. There would be some social and economic benefits in boosting housing supply and associated with employment during the construction phase.
- 7.2 However, in terms of its more detailed effects, the fundamental harm arising from the development as identified in the above report, is considered to significantly outweigh the benefits.
- 7.2 This proposal has been carefully considered in the context of the Reading Borough Local Plan 2019 and supplementary planning documents. The recommendation is to refuse outline planning permission for the reasons shown above.

Case Officer: Miss Ethne Humphreys



STREET VIEW SEND ROAD



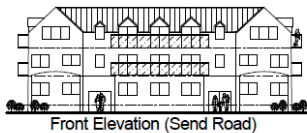
STREET VIEW FORGE CLOSE



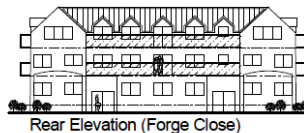
Proposed Development
16 Flats
2 - 4 Send Road
Reading RG4 8EH

SITE PLAN

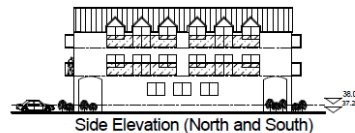
1:200 A2 JUNE 2019 sk3 rev B



Front Elevation (Send Road)

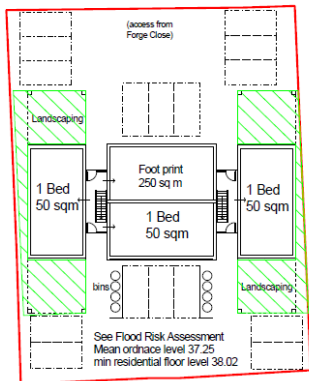


Rear Elevation (Forge Close)

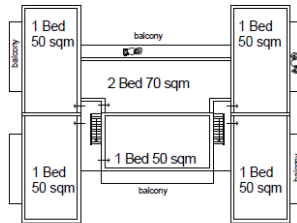


Side Elevation (North and South)

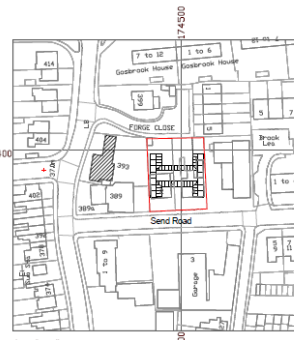
Subject to site survey
Indicative layouts
do not scale



Site and Ground Floor 1:200



First and Second Floor 1:200



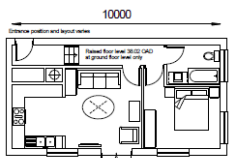
Location Plan 1:1250

Using topographical survey drawn
RT3190503P0001
Proposed Foot print
250 sq m
2 Send Road, Bungalow
no extensions or outbuildings
125.67 sq m
4 Send Road Commercial Building
135.51 sq m
Total existing area = 262.18 sq m
Net Gain Area = -12.18 sqm (negat)

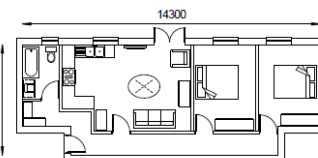
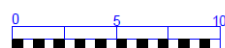
14x One Bed Flats
50 sqm nett area each

2 x Two Bed Flats
70 sqm nett area each

16 parking spaces



1 Bed flat layout 1:100



2 Bed flat layout 1:100

Proposed Development
16 Flats
2 - 4 Send Road
Reading RG4 8EH

1:200 A2 JUNE 2019 sk3 rev

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COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 4th March 2020

Ward: Norcot

Application No.: 182114/OUT

Address: Land adjacent Thorpe House, Colliers Way, Tilehurst

Proposal: Outline application for proposed residential redevelopment to provide 6 no. 3-bedroom dwellinghouses

Application target decision date: Originally 19 March 2019

RECOMMENDATION

REFUSE Outline Planning Permission for the following reasons:

1. The proposed development would result in the loss of open space that has not been previously developed and which makes a positive contribution to the character, appearance and environmental quality of the area due to its openness, undeveloped character and green vegetated appearance. As such the proposed development would be contrary to Policies CC7 and EN8 of the Reading Borough Local Plan 2019.
2. The amount of development proposed within the main body of the site would require a scale of building that would appear as an incongruous, jarring and poorly integrated feature within the context of the notably modest scale of development on adjacent streets. For these reasons the development would represent an overdevelopment of the site, fail to respond positively to its local context, and fail to reinforce local character and distinctiveness. The proposal would therefore harm the character and appearance of the area, contrary to Policies CC7 and EN8 of the Reading Borough Local Plan 2019.
3. The proposed removal of the dwelling at 16 Kirton Close and its replacement with an access roadway and vehicle parking area would result in the loss of continuity and enclosure within the established street scene which is characterised by a regular built form of a distinctive style and appearance. The proposed access would result in a disjointed and visually stark arrangement of access road and vehicle parking to the detriment of the existing streetscene and contrary to Policy CC7 of the Reading Borough Local Plan 2019.
4. The application fails to demonstrate that the proposed amount of development can be accommodated without harm to the amenity of occupiers of neighbouring dwellings caused by a loss of privacy to windows and gardens due to overlooking; overbearing effects resulting from the likely scale and proximity of the building; and disturbance from vehicle movements adjacent to Thorpe House. As such the proposal is contrary to Policy CC8 of the Reading Borough Local Plan 2019.
5. The application fails to demonstrate that the proposed amount of development can be accommodated in a manner which provides adequate outlook, daylight, sunlight and private outdoor amenity space for future occupiers. As such the proposal would be harmful to the amenity of future occupiers, contrary to Policy CC8 of the Reading Borough Local Plan 2019.

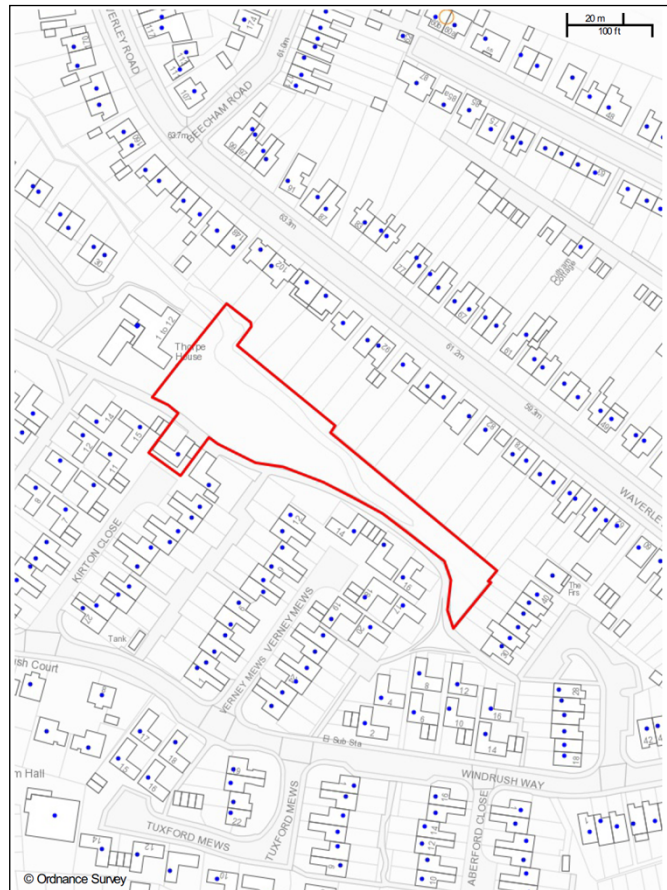
6. In the absence of a completed legal agreement to secure an acceptable contribution towards the provision of Affordable Housing, the proposal fails to contribute adequately to the housing needs of Reading Borough and the objective of creating mixed and balanced communities and as such is contrary to Policy H3 of the Reading Borough Local Plan 2019, Affordable Housing Supplementary Planning Document (2013) and para. 50 of the NPPF.

Informatives

1. Positive and Proactive Approach
2. Refused Drawings

1. INTRODUCTION

- 1.1 The site is located at the edge of an estate of mid-twentieth century housing to the north of Water Road. The site lies to the rear of Thorpe House, a two-storey block of flats. An embankment exists to the northern edge of the site, rising to meet the rear garden boundaries of houses in Waverley Road.
- 1.2 A public footpath runs to the southern edge of the site serving as a traffic free route linking the residential streets within the estate, which are arranged perpendicular to the path to the south.
- 1.3 The application site itself comprises an enclosed piece of land with overgrown areas towards the embankment. The embankment is well treed, including a number of trees subject to a TPO close to Thorpe House. At site is enclosed by a hoarding comprising timber sheets attached to timber posts secured into the ground by concrete.
- 1.4 The site also includes a section of the public footpath and the entire curtilage of number 16 Kirton Close, a bungalow.
- 1.5 This application has been called-in for Committee determination by the request of the Ward Members.



Site location plan

2. RELEVANT PLANNING HISTORY

- 131179/PREAPP - Pre-application enquiry relating to proposed 2 x three bed, five person linked dwellings and 2 x three bed, four person dwellings (one linked plus one pair of semi's). Use of amenity area for recreational use). Observations sent.
- 161305/PREAPP - Proposed residential development - Observations sent
- 162105/CLP - Erection of fence, not exceeding 2 metres in height above ground level, around perimeter of open space. Certificate of Lawfulness granted.
- 171219/OUT - Outline application for residential redevelopment to provide a maximum of 18 dwelling units. Demolition of dwelling at 16 Kirton Close to provide access. (Appearance, Landscaping, Layout and Scale reserved for future consideration). Refused (PAC 6 December 2017)
- 180849/OUT - The development proposed is residential development to provide a maximum of 14 dwelling units and demolition of dwelling at 16 Kirton Close to provide access. Dismissed at appeal 17 December 2019

3. PROPOSALS

- 3.1 Outline Planning Permission is sought for up to 6 dwellings.

- 3.2 'Appearance', 'Landscaping', 'Layout' and 'Scale' are reserved for future consideration. The applicant has submitted a set of indicative drawings showing how the proposed 6 dwellings might be accommodated within the site. The drawings indicate one terraced block orientated parallel to the existing footpath with an approximate ridge height of 10 metres.
- 3.3 Access is proposed for consideration at Outline stage (the current application) and is shown as being achieved through the demolition of the existing bungalow at 16 Kirton Close and provision of a new access and parking area as a continuation of Kirton Close.
- 3.4 Information Submitted with the Application:

Drawings

PL 100 Location Plan

PL 102 Rev D Block Plan

PL 700 Eye Level Sketch Up Scene

PL 701 Scene 1 Sketch Up Scene

PL 702 Scene 2 Sketch Up Scene

PL 703 Scene 3 Sketch Up Scene

Received 4th December 2018

PL 102 D Proposed Site Layout

Received 11th June 2019

PL 400 A Proposed Indicative Front Elevation

Received 12th June 2019

4. CONSULTATIONS

Thames Water

- 4.1 No objection.

RBC Transport

- 4.2 No objection subject to conditions.

RBC Natural Environment - Trees and Landscape

- 4.3 No objection subject to condition.

RBC Ecologist

- 4.4 No objection subject to condition.

Berkshire Archaeology

- 4.5 No objection.

RBC Environmental Protection

- 4.6 No objection subject to condition.

Ward Councillor Response (submitted under application 180849)

4.7 Norcot ward councillors confirm that they object to the application:

“Norcot ward councillors are opposed to this application for the following reasons:

- *We believe this would lead to an unacceptable loss of green space enjoyed by many local people. The amenity space is enjoyed by a wide range of local people but is particularly important to the families living in the flats of Thorpe House.*
- *We believe it is unacceptable for access to these flats and its parking to cross a well used footpath which is a public right of way. This is a footpath often used as a safe route to school by local children. We believe this vehicular crossing of a well-established right of way would be unsafe.*
- *We object to any development of this piece of land but also believe this is a significant over development with too much squeezed on too small a site*
- *We do not believe that Kirton Close is a suitable access road for the flats and that could be an unsafe change to a road designed as a cul-de-sac.”*

Public Consultation Responses

4.8 53 Objections have been received. Summarised below:

- Traffic and parking implications
- Safety of pathway/dangerous for school children
- Loss of privacy/overlooking
- Loss of green space/amenity space
- Harm to environment
- Change the character of the area/overdevelopment
- Overbearing
- Loss of trees/natural screening
- Precedent
- Contrary to appeal decision

5. LEGAL AND PLANNING POLICY CONTEXT

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'. For this Local Planning Authority the development plan is now in one document - the Reading Borough Local Plan (November 2019), which fully replaces the Core Strategy, the Sites and Detailed Policies Document and the Reading Central Area Action Plan. The relevant policies are:

5.2 Accordingly, the National Planning Policy Framework and the following development plan policies and supplementary planning guidance are relevant:

- CC1 Presumption in favour of sustainable development
- CC2 Sustainable design and construction
- CC3 Adaptation to climate change
- CC5 Waste minimisation and storage

CC6	Accessibility and the intensity of development
CC7	Design and the public realm
CC8	Safeguarding amenity
EN8	Undesignated Open Space
EN9	Provision of open space
EN12	Biodiversity and the green network
EN14	Trees, hedges and woodlands
EN15	Air quality
EN16	Pollution and water resources
H1	Provision of housing
H2	Density and mix
H3	Affordable housing
H5	Standards for new housing
H10	Private and communal outdoor space
TR1	Achieving the transport strategy
TR3	Access, traffic and highway related matters
TR5	Car and cycle parking and electric vehicle charging

- 5.3 Supplementary Planning Documents
 Sustainable Design and Construction SPD 2019
 Revised Parking Standards and Design SPD 2011
 Affordable Housing SPD 2013
 Planning Obligations Under S106 SPD 2015

6. APPRAISAL

- 6.1 This submission follows refused application 180849 and also needs to be assessed in the context of the dismissed appeal ref: APP/E0345/W/19/3220213, a material planning consideration.

Landscape Character and Open Space

- 6.2 Policy EN8 states that “There will be a presumption in favour of retention of undesignated open space...Development should not result in the loss of or jeopardise use and enjoyment of undesignated open space...The quality of existing open space should not be eroded by insensitive development on adjoining land”. This is in line with the expectations of paragraph 97 of the NPPF for the protection of open space.
- 6.3 Whilst the site is in private ownership, the supporting text to the Policy in paragraph 4.2.30 explains that “Reading has many areas of open space not identified in Policy EN7 (Local Green Space and Public Open Space) in both public and private ownership. It is important that these areas are retained where possible”. The definition of open space in the glossary to the NPPF does not limit it to land in public ownership, but all open space of public value. Indeed, the NPPG confirms that open space can take many forms, including open areas within a development.
- 6.4 Further to the above, the supporting text states that the Policy “applies not just to the loss of the space, but to a situation where development prevents the use of open

space in close proximity through such effects as preventing public access or leading to unacceptable levels of overshadowing”.

- 6.5 The Design and Access Statement retains the applicant’s assertion that the site falls within the definition of previously developed land and, moreover that the site cannot be classified ‘open space’.
- 6.6 Further to the above, the Inspector, acknowledging the embankment at the rear of the site as evidence of the former quarry, specifically commented that given no structures of the previous use remain, and in line with the glossary in Annex 2 of the NPPF, the open space and amenity land does not comprise previously developed land.
- 6.7 The Inspector, when considering the appeal of application 180849 noted that the land in question appears to have been retained or left over as open space and amenity land adjacent to the public footpath and continuous with the open space which surrounds Thorpe House to the west of the site and at the end of Colliers Way.
- 6.8 The Inspector acknowledged the state of the site (currently enclosed by timber hoardings) and also acknowledged that in recent years the site has been subject to fly tipping and other misuse which has made it unusable. However, the Inspector also acknowledged the good condition of the site prior to the erection of the hoardings, which provided an attractive visual amenity adjacent to Thorpe House and the public footpath, and a space for informal recreational use for local residents. Pertinently, the Inspector acknowledged the enjoyment that the area could provide and specifically commented that the site offers a valuable piece of open spaces and amenity land for the estate and equally as important, that even in its current condition, the openness of the site above the fencing and backdrop of mature trees makes an important contribution to the character of the area.
- 6.9 In respect of the above, the Inspector, in his dismissal of planning application 180849 considered that the site is clearly an area of open space within the estate - whether by design or as left over space - clearly matching the description of the type of undesignated open space which Policy EN8 is intended to protect.
- 6.10 The proposals considered under the appeal application 180849 would have taken up the majority of the open space on the main western half the site. It is acknowledged that the current proposals, are for a reduced number of units, and therefore reduction in built form across the site. However, they still take up a large proportion of the western half the site and the openness of this part of the site would be lost as well as the visual amenity it provides as a backdrop to the surrounding residential development and as noted by the Inspector. Further to this, albeit the Inspector acknowledged that the proposals could improve the landscape and appearance of the eastern part of the site along the public footpath, he considered that the principal contribution of the open space on the western part of the site to the amenity of the estate and the character of the surrounding area would be lost. The Inspector considered that the potential enhancement of the eastern section would not outweigh this loss.

- 6.11 The indicative proposals suggest that in order to accommodate 6 dwellings, a substantial scale of building would still be required. The current indicative proposal omits the second floor accommodation shown previously and indicates two buildings separated by a small gap. It is apparent that despite the reduction from 14 to 6 dwellings the amount of development proposed would require a building and associated hard surfacing which would fill much of the space in visual terms and would appear as a stark and visually dominant feature within the space. It remains the case that the proposals would harm the visual amenity value of the undeveloped vegetated and open area, which provides a significant degree of visual relief to the otherwise largely continuous block of housing within the housing estate to the south.
- 6.12 It is apparent that notwithstanding land ownership matters, local residents have enjoyed access to the space for informal recreation until recently and have done so for a significant period of time. The erection of the fence has prevented its informal recreational use. It is noted that the Design and Access Statement comments that it is the applicants' intention for the fence to remain as long as the site remains undeveloped. In this respect, the Inspector considered that even in its current fenced off condition, the loss of openness and space would be harmful.
- 6.13 It is recognized that Design and Access Statement was submitted before the appeal decision; however, nothing has been submitted subsequently to counter the Inspector's comments in this respect.
- 6.14 As with the previously refused schemes, it is unclear how any new dwellings could be provided within this space without causing the harm identified, although it remains the case that any alternative proposal would be assessed on its own merits.
- 6.15 Given the above, the proposals, albeit for a smaller scheme than that considered under application 180849, would remain contrary to Policies EN8 and CC7 and would conflict with paragraph 97 of the NPPF.

Dwelling Mix

- 6.16 Application 180849, as a 'Major' application, required the proposal to seek 50% of the new dwellings as 3-bed or larger, with the majority taking the form of houses. This requirement is no longer applicable to this scheme, given the number of units proposed. Nonetheless, the proposal is for 6 x 3 bed houses which, in itself is considered appropriate.

Built Form and Character

- 6.17 Whilst acknowledging that indicative floors plans have not been submitted (with the scale, appearance and layout of the dwellings only indicative at this stage - these matters are 'reserved') the proposal is shown indicatively as a terraced row, and the Design and Access comments that the proposed dwellings would be two storey in height with no roof accommodation. However, the indicative visual elevations, whilst not overtly showing second floor/roof accommodation, show a large expanse of roof with potential for such accommodation in the roof space. It is therefore possible that a larger building than indicated may be required to accommodate the amount of development currently proposed. Indeed, the drawings appear to indicate a building taller than Thorpe House. The Inspector for the appeal considered that

three floors of development with windows in the roof would create a visually dominant building form, even outlook were limited to the rear. Furthermore, that it would be unreasonable to apply a condition limiting the development to 2 storeys. The inspector considered that this would be out of keeping with and therefore harmful to the more modest 2 storey character and scale of the area. In particular, that the development would have an overbearing relationship with the bungalows at the heads of the cul-de-sac to the south. Despite the reduction in footprint since application 180849, in respect of the overall built form, the Inspector's comments are considered to still be the case. The overall scale, bulk and massing as shown in the indicative proposals are considered to result in an incongruous and visually jarring feature within this context, particularly apparent where viewed in close proximity to the adjacent single storey houses and when viewed from the junction of Kirton Close and Windrush Way.

- 6.18 As with application 180849, the proposals include the demolition of 16 Kirton Close, and its replacement with a roadway and three parking spaces arranged on the plot (the design of the Access is not a Reserved Matter in this case and therefore the access, turning and parking arrangements are for detailed consideration at Outline stage).
- 6.19 The bungalow at 16 Kirton Close is currently sited at the head of the cul-de-sac and provides an appropriate sense of enclosure and a visual end-stop to the close; a characteristic shared with similar development at Appleby End and Verney Mews to either side. Policy CC7 requires new development to contribute positively to (amongst other objectives), "Character (a place with its own identity and sense of place" and "Continuity and enclosure".
- 6.20 As with application 180849 and the appeal decision, it is still considered that the demolition of this dwelling would disrupt the existing character leaving an unsightly gap in the streetscene and removing a key element in the continuity and enclosure that characterises the existing streetscene. Further, visual harm would result from the proposed replacement of the existing dwelling with a somewhat disjointed and visually stark arrangement of access road and vehicle parking - notwithstanding the reduction from five parking spaces to three parking spaces. It is considered that the proposed visual elevation drawings, rather than serve to show how the proposed building positively relates to the street scene, only emphasizes this stark arrangement.
- 6.21 The Inspector for the appeal commented on No.16 Kirton Close as being part of a distinctive feature in the estate, framing the end of the cul-de-sac, allowing views out to the spaces and trees beyond as well as creating a unique and pleasing end stop to the vista in each close, and, contributing to the small scale and intimate character and appearance. The Inspector acknowledged that the proposed development would create a new end stop to the vista along Kirton Close, as would the current proposals. However, the Inspector specifically commented that the removal of the bungalow would remove the unique sense of enclosure created by the bungalow, replacing it with a two or three storey building, set further back behind the access and car parking to the side. The Inspector considered that the result would be a loss of the continuity of the architecture and intimate character

of the cul-de-sac, which would cause unacceptable harm to the streetscene in Kirton Close. This would be contrary to the aims of Policy CC7 which expects development to make a positive contribution to continuity and enclosure in design. Further, whilst acknowledging that paragraph 127(c) of the NPPF seeks not to discourage innovation and change, the Inspector considered that the change proposed would not be sympathetic with local character, which the NPPF also seeks. Albeit there are some differences between the appeal scheme and the current proposals, the Inspector's comments made in respect of the loss of the bungalow area clearly relevant, pertinent and have not been overcome through a reduced scheme.

6.22 Details of boundary treatments and other enclosures are not included (these would form part of the 'Landscaping' Reserved Matter). It is reasonable to expect that provision of walls and fences to provide defensible space for the new dwellings would further harm the open character of the area.

6.23 Given the above, the proposals would be contrary to Policies CC7 and EN8 of the Reading Borough Local Plan 2019 and paragraphs 97 and 127 of the NPPF.

Access and Transport

6.24 Concerns regarding parking and access were considered in detail at the appeal stage and, whilst the appeal was ultimately dismissed, it was not on Highways grounds.

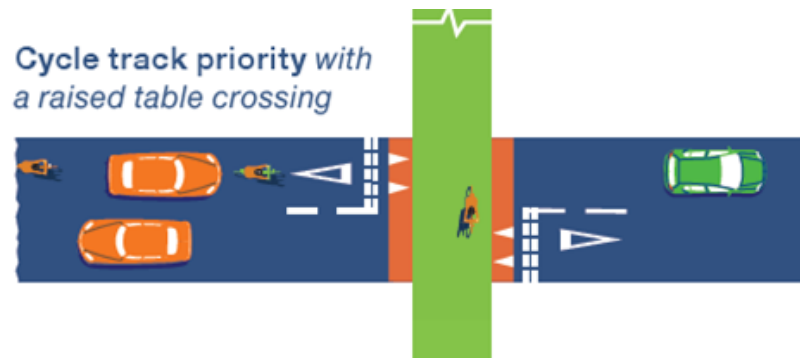
6.25 The site is located within Zone 3, Secondary Core Area, of the Council's adopted Parking Standards and Design SPD. Typically these areas are within 400m of a Reading Buses high frequency 'Premier Route', which provides high quality bus routes to and from Reading town centre and other local centre facilities. In accordance with the adopted Parking Standards and Design SPD, the development would be required to provide a parking provision of 2 parking spaces for each residential unit which would equate to 12 parking spaces. This provision has been provided and therefore is acceptable.

6.26 In addition to the above, 3 visitor spaces have been proposed which is also acceptable. However, it is recognised that the number of visitor parking spaces could be reduced to 2 and this could allow for alterations to the scheme significantly increasing the amenity / landscaped area surrounding the dwellings.

6.27 The car parking layout includes no provision for electric charging in accordance with the Council's adopted Local Plan. Given that 2 parking spaces are proposed for each unit providing a dedicated provision a revised drawing should be provided illustrating the provision of 6 electric charging points. It is considered that this could be reasonably dealt with by way of a condition.

6.28 Plans indicate that vehicular access to the site is proposed to be gained via Kirton Close, following the demolition of an existing residential dwelling as per the previous planning application proposals. The level of movement created by the proposed units has previously caused concern regarding the potential interaction between pedestrian traffic/cycles and vehicles. Priority of right of way should be that of pedestrians and cycles using the footway and not vehicles; as it would be detrimental to the safety of pedestrians using the public footway.

- 6.29 The Transport Statement includes a comparison between Dee Park development and this application site; however Dee Park had existing roads and car parking areas segregating the pedestrian facilities which were mainly used as informal crossing points. The Dee Park Regeneration was therefore to improve the current facilities and did not introduce the vehicular segregation of the pedestrian areas. It should be added that Dee Park has additional dedicated path(s), which would accommodate the main pedestrian footfall through the wider estate and therefore would remove the need for pedestrians to cross at these facilities. For this application, the path in question is a main path and as such should be given priority to pedestrians over vehicular traffic.
- 6.30 The submitted layout includes the provision of a raised table junction with give way markings provided for vehicular traffic. This ensures priority to pedestrian/ cyclists and is compliant with Sustrans advice as specified below.



- 6.31 Bollards have been provided on the footway either side of the vehicular route and in principle is acceptable as a visual warning to pedestrians; however ,the bollards should be altered so that they are a minimum of 1m apart. The applicant has submitted a Transport Statement Addendum which states that this can be undertaken but revised plans have not been submitted illustrating the revision to the bollards. It is considered that this could reasonably be dealt with by way of a condition.
- 6.32 However, at the point at which the proposal meets the Kirton Close carriageway no pedestrian crossing facilities are provided. As stated as part of the previous application an assessment would be required as to how the proposal would impact on No. 17 Kirton Close. Paragraph 3.2.2 of the Transport Statement states:
- 6.33 *Access to the existing driveways for the residential units in Kirton Close will be retained with no alterations to the existing turning head facility.*
- 6.34 This is not the case in relation to No. 17 given that vehicles would now be required to reverse out onto a pedestrian crossing facility and the proposed site layout blocks access by way of bollards. The submitted Transport Statement Addendum states that if there is a perception that bollards may restrict this movement (to No. 17), they can be amended. It is clear that the bollards do restrict access and therefore must

be amended. It is considered that this could reasonably be dealt with by way of a condition.

- 6.35 The submitted tracking diagrams for the route to and from No. 17 Kirton Close have been reviewed and it is noted that the current drive way to No 17 serves their garage and the surfaced area to the south is No 18's parking forecourt. Due to No 16's location the manoeuvre to access and exit their garage is restricted in that they need to cross the current path between 16 and 17 and use the footpath in front of No 16 to complete any movement. The new layout removes No 16 and allows No 17 to use the new road link as an improved means of turning. It also improves the visibility for users of the paths and No17. As such this proposal does not worsen the existing situation and is therefore acceptable.
- 6.36 The updated drawings now include a dedicated pedestrian facility into the site and this is acceptable.
- 6.37 The driveway access to the rear of the visitor parking bays has been illustrated as being between 7.4m and 8.2m in width which is in excess of the 6m forecourt depth required to accommodate access and egress to the parking bays themselves. This is also well in excess of the 4.8m width specified within Manual for Streets to accommodate a car passing a larger vehicle. This has been required to meet the tracking of larger vehicles and in principle is acceptable.
- 6.38 Tracking diagrams have been provided and this identify that a suitable turning area can be provided on the site.
- 6.39 A minor amendment to the landscaping at the eastern end of the site has been made to obtain the 6.0m forecourt depth for parking space 11. For parking spaces 5-7, a depth of 5.6m internal forecourt carriageway proposed with a 1.2m footway strip adjacent to this. It is proposed that cars would make use of this space when exiting these parking spaces as this will be at grade with the internal forecourt. This is acceptable and therefore the parking layout is acceptable.
- 6.40 The trip rate data has been assessed and it is noted that some of the sites selected are not comparable to the application site but given that the trip rates presented are in excess of those calculated they are accepted as a robust assessment. The development would therefore generate 32 vehicular movements per day. This is not a material increase and within the daily fluctuations on the network and given paragraph 109 of the NPPF which states proposals should only be refused on transport grounds if the residual cumulative impacts are severe, a refusal on traffic generation grounds would be hard to defend at an appeal.
- 6.41 In the circumstances, and in line with the appeal decision, there are no transport objections to the proposal subject to conditions which would have been secured should the application have otherwise been recommended for approval. The previous reason for refusal is considered to have been overcome.

Amenity of Neighbours

- 6.42 Policy of CC8 seeks to ensure development does not cause harm to the living environment of existing properties, in terms of privacy, overlooking, and visual dominance, amongst other things. Furthermore, it confirms that a back to back separation distance of around 20m is generally appropriate to prevent overlooking between residential properties. The same would apply to a front to back relationship between habitable room windows. Policy CC8 also seeks to avoid harm to the living environment of existing occupiers in terms of noise and disturbance.
- 6.43 Application 180849 included built form within 12m from the side and rear walls of 12 Verney Mews. The Inspector considered that given the need for windows on the front elevations facing this property, there would be unacceptable overlooking and loss of privacy. Similarly, given the height of the building it would be overbearing. It is acknowledged that the reduction in the number of units under the current proposals has resulted in less built form in the eastern part of the site, thereby minimizing the impact on this property.
- 6.44 In respect of No's 15 and 17 Kirton Close, the Inspector considered that whilst the proposed development may result in an increase perception of overlooking from the upper floor windows of the proposed dwellings, the separation distances for both No's 15 and 17 (between 20-26m) would be adequate to ensure no actual overlooking would occur. Similarly, the Inspector considered that there would be sufficient distance between buildings so as not to be overbearing.
- 6.45 The Inspector's comments are noted and in respect of No.15 Kirton Close, it is considered unlikely that the current proposals would result in any significant material loss of privacy. However, based on the indicative proposed site plan, the front elevations of the current proposed building (sited further forward than previous) would be 15m from the rear private amenity space of No.17 Kirton Close. Given the number of first floor windows likely to be required within this principal front elevation - and as indicated on the indicative drawings - it is considered that the current proposals, over and above that dismissed at appeal, would result in the occupiers of No.17 Kirton Close having a strong perception of being overlooked, if not actually being overlooked.
- 6.46 Given the back to back separation distance of approximately 30m between the proposed building and the houses along Waverley Road, it is not considered that there would be any significant material loss of light, privacy or overbearing impact.
- 6.47 In respect of Thorpe House, the western facing side wall of the proposed development would be between 15 and 21m from the eastern elevation(s) of Thorpe House, which contains a number of windows to habitable rooms. The Inspector for 180849, wherein the building was located between 13 and 20m buildings, considered that subject to either no windows or obscure glazing on any windows on the flank elevation facing Thorpe House, this would prevent any undue overlooking. This is considered to remain the case. However, as per 180849, the outlook for the occupiers of the flats from the easternmost gable end of Thorpe House would be directly on to the parking courtyard of the proposed development, which would be 2.5m away. The proposed site layout shows a group of 8 parking spaces adjacent to this boundary of the site. In this respect, the Inspector acknowledged that the

number of vehicle movements to and from the proposed development would be modest throughout the day. However, he did consider that the concentration of vehicle turning movements within this part of the site directly outside the habitable room windows of the flats of Thorpe House, compared to the current traffic free environment on site, would result in an unacceptable increase in disturbance from vehicle noise for occupiers at the eastern end of Thorpe House. The Inspector did not consider that the possible use of fencing on the boundary would be sufficient to mitigate against the effect of vehicle noise. Given that this current proposal indicates the same relationship as that considered unacceptable at appeal, this remains contrary to Policy CC8.

- 6.48 Notwithstanding the noise and disturbance considered to arise respect of vehicle parking adjacent Thorpe House, the Inspector did not considered that the vehicle parking proposed adjacent No.16 Kirton Close would lead to an unacceptable level of noise and disturbance for occupiers in the street over and above the current situation. Given the current plans propose fewer parking spaces (from five to three) and thereby minimize the impact, there is no reason to disagree with the Inspector's conclusions in this respect.
- 6.49 Given the above, it is considered that the design of the current *indicative* proposal would result in harm to neighbouring amenity due to an overbearing effect on occupiers of Thorpe House and loss of privacy to No.17 Kirton Close. However, it should also be noted that an increase in the size of the building due to detailed design requirements (room sizes, access arrangements, internal layout requirements etc), could significantly worsen these effects.
- 6.50 The proposal is considered to be contrary to Policies CC8 on this basis.

Amenity of Future Occupiers

- 6.51 The indicative site layout gives no indication as to the interior layout of the proposed dwellings, and on the basis of previous drawings (submitted under 171219/OUT and 180849/OUT) this could involve single aspect, north facing dwellings with outlook onto an embankment. Albeit the scheme is for fewer units than it dismissed at appeal, it remains the case that light is further restricted in this area by a number of large existing trees. It is not readily apparent how the amount of development proposed might be arranged differently and it is therefore considered that the proposals fail to demonstrate that the proposed development would provide a suitable quality of daylight and sunlight or outlook for future occupiers, especially on the northern side of the site. This is supported by the Inspector's conclusions that "much of the space to the rear and side of the proposed building would be overshadowed by trees or the building itself, comprising its functionality and attractiveness as outdoor space for the range of uses set out in Policy H10". The Inspector further considered that the depth of the space to the rear would also provide "little opportunity to ensure privacy for ground floor units with habitable room windows facing the rear".
- 6.52 As per application 180849 it remains unclear as to how suitable demarcation of public and private space could be achieved in order to provide acceptable private amenity space for future occupiers, without resulting in further harm to the

openness of the space and the character of the area. This is supported by the Inspector's conclusion that "the need to rely on some of the land to the east being enclosed within the communal garden space would further harm the open space and public amenity value of the land".

- 6.53 For these reasons it is considered that the proposal would be contrary to Policies CC8 and H10.

Trees and Landscaping

- 6.54 Concerns regarding the loss of protected trees were considered in detail at the appeal stage and, whilst the appeal was ultimately dismissed, it was not on tree grounds. The plans subject of this application show that the protected Norway Maple adjacent to Thorpe House (T1) is to be retained. Furthermore, and in light of the appeal decision, it is considered that existing trees and vegetation could be successfully retained and reinforced with new tree and shrub planting as part of a landscaping scheme which would be secured by way of condition were the application otherwise considered to be acceptable.

Sustainability

- 6.55 Policy H5 (Standards for New Housing) states that new build housing will achieve at a minimum a 19% improvement in the dwelling emission rate over the target emission rate, as defined in the 2013 Building Regulations. In addition, this policy sets a higher water efficiency standard for all new dwellings. It is considered these requirements could reasonably be secured by condition.

Ecology

- 6.56 As per application 180849, there are no ecology objections in principle, subject to conditions securing appropriate wildlife-friendly landscaping, details of external lighting and controlling the clearance of vegetation during the bird nesting season. It is considered that this could reasonably be secured by condition at Outline stage.

Contaminated Land

- 6.57 As per application 180849, there are no objections from the Council's Environmental Protection team, subject to conditions to secure further investigation to ensure that the development is safe and suitable for use for the intended purpose or can be made so by remedial action. It is considered that this could reasonably be secured by condition at Outline stage.

- 6.58 Other matters relating to hours of working, noise and dust during construction and control of bonfires would also be appropriate to control by condition.

Affordable Housing

- 6.59 The proposals would be required to provide a financial contribution to enable the equivalent of 20% of the housing to be provided as affordable housing elsewhere in the Borough total number of units on site as Affordable Housing in accordance with Policy H3. Given the application is being refused for other separate reasons, the absence of a section 106 legal agreement or unilateral undertaking to secure the required financial contribution is considered to represent a further reason for refusal. An informative will specify that this

reason for refusal could be overcome, in the context of an acceptable scheme in all other respects, by entering into an s106 or unilateral undertaking.

S106 and CIL

- 6.60 Application 180849 was required to provide an Employment Skills and Training Plan for the 'Construction Phase', or equivalent financial contribution (due to the application being in the 'Major' category). This current application is not a 'Major' application and as the previous requirement is no longer applicable and therefore does not also form a reason for refusal as previous.
- 6.61 CIL would apply to the proposals, subject to the usual reliefs or exemptions set out in the CIL Regulations. It is not possible to calculate the CIL charge until full floorspace details are provided at Reserved Matters stage.

Equality

- 6.62 In determining this application the Council is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sexual orientation. It is considered that there is no indication or evidence (including from consultation on the current application) that the protected groups would have different needs, experiences, issues and priorities in relation to this particular planning application.

7. CONCLUSION

- 7.1 The proposed scheme has been assessed on its merits, and with regard to the recently dismissed application 180849. It is considered that there are still fundamental concerns with the scheme and as raised by the Inspector, and which have not been satisfactorily addressed since application 180849 was dismissed at appeal.
- 7.2 It is considered that the proposals would result in harmful loss of open space and would be an overdevelopment of the site, harmful to the character of the area.
- 7.3 The proposed building would result in harm to the amenity of neighbouring occupiers and it has not been demonstrated that a suitable quality of amenity can be achieved for future occupiers.
- 7.4 S106 matters relating to the provision of Affordable Housing have not progressed to completion.
- 7.5 The application is recommended for refusal as set out in the above report.

Case Officer: Ethne Humphreys



Accommodation Schedule
 6No. 3 Bed Houses @ 88m² / 950ft²
 16No. Parking Spaces
 (incl. 3No. Visitor Parking Spaces- VP)



- Project: CPCW
- Dwg No./rev: PL-102D
- Scale: 1:500@A3
- Date: June 2019
- Checked by: SSB

- The Cardiff Property
- Land at Colliers Way
- Proposed Site Layout



0 1 2 4 6m
 1:100

Subject to:
 Plans and Sections

The Cardiff Property
 Land at Colliers Way

Project: CPCW
 Dwg No: PL-400A

Sketch of front elevation PL-400A



PL 701 Scene



PL 702 Scene

By virtue of paragraph(s) 6a, 6b, 7 of Part 1 of Schedule 12A of the Local Government Act 1972.

Document is Restricted

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